

# BATH TOWNSHIP BOARD OF ZONING APPEALS



June 16, 2026

- Joe Chiera – Impact Remodeling
- 4773 Barnsleigh Dr.
- Requesting variance from Article 7, Section 701-B(11)(D) to exceed the maximum footprint allowed for an accessory structure.



*BZA 26-09*



Arbour Green Dr

Arbour Green Dr

Darlington Dr

Heatherleigh Dr

4773 Barnsleigh

Autumn Leaves Dr

Barnsleigh Dr



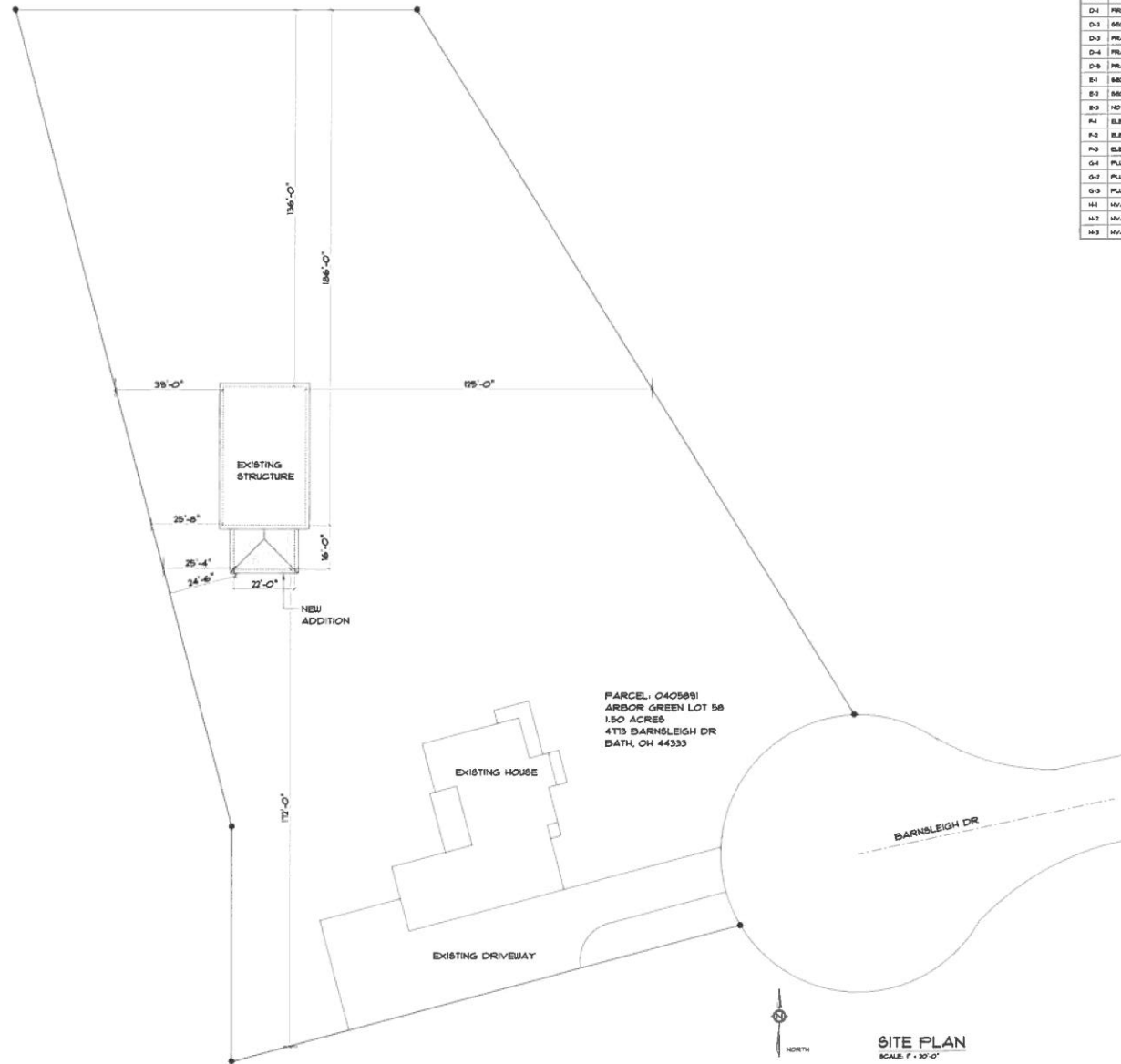


TABLE OF CONTENTS	
# SHEET # TITLE - 1/8" = 1'-0"	
CONTENTS	
A-1	SITE PLAN
A-2	LANDSCAPING PLAN
B-1	ELEVATIONS
B-2	ELEVATIONS
B-3	ELEVATIONS
B-4	ELEVATIONS
C-1	FOUNDATION PLAN
C-2	FOUNDATION PLAN
D-1	FIRST FLOOR PLAN
D-2	SECOND FLOOR PLAN
D-3	PLUMBING PLAN
D-4	PLUMBING PLAN
D-5	PLUMBING PLAN
E-1	SECTIONS / DETAILS
E-2	SECTIONS / DETAILS
E-3	NOTES / SCHEDULES
F-1	ELECTRICAL FLOOR PLAN
F-2	ELECTRICAL FLOOR PLAN
F-3	ELECTRICAL FLOOR PLAN
G-1	PLUMBING FLOOR PLAN
G-2	PLUMBING FLOOR PLAN
G-3	PLUMBING FLOOR PLAN
H-1	HVAC FLOOR PLAN
H-2	HVAC FLOOR PLAN
H-3	HVAC FLOOR PLAN

REVISIONS:	
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	
21	
22	
23	
24	
25	
26	
27	
28	
29	
30	
31	
32	
33	
34	

- SITE STANDARDS:**
- SITE PLAN FOR PERMITS + BLDG. PLACEMENT ONLY
  - SITE CONDITION TO BE VERIFIED BY CONTRACTOR
  - SOIL BEARING CAPACITY TO BE VERIFIED
  - EXCAVATION OF FOUNDATION AND BACKFILL
  - ROUGH + FINISH GRADINGS OF DISTURBED AREAS
  - POS. GRADE AWAY FROM BLDG. @ 6" TO EVERY 10'
  - FORM SCALES TO CARRY WATER AWAY FROM BLDG.
  - CONCRETE PORCHES, STEPS, SIDEWALK TO DRIVE

DRAWING PREPARED FOR:

CUSTOMER:  
JERIN + DELANE ALABURDA  
4713 BARNBLEIGH DR  
BATH, OH 44333

BUILDING ADDRESS:  
4713 BARNBLEIGH DR  
BATH, OH 44333

CUSTOMER PLAN APPROVED SIGNATURES:

DATE: \_\_\_\_\_

PROFESSIONAL DRAFTER BY:  
PARK VARIANT

**VARIANT DESIGN**

**(330) 447 4348**

**DRAFTING**

**DESIGN AND**

**BLUEPRINTS**

MARKET + MOBILITY

**SITE LEGEND:**

—	LOT LINE	⊙	LOT PIN
- - -	SET BACK LINE	⊕	REVISION MARKER
- · - · -	EASEMENT	⊗	REVISION MARKER
▭	CONCRETE SLAB		
▨	ROOF PITCH		
▧	FLOOR DRAIN		
⊕	PLUMBING LINE		
⊖	PLUMBING DROP		
⊗	FLUE		
▭	1/2" X 4" PILASTER		
▭	2" BLOCK LEDGE		
⊕	ELECTRICAL LINE		
⊗	ROUND COLUMN		
⊕	SQUARE COLUMN		

DATE: APRIL 28, 2025

SCALE: AS NOTED

60 FT.

FIN. BERT. 353

1st FLOOR 353

2nd FLOOR 353

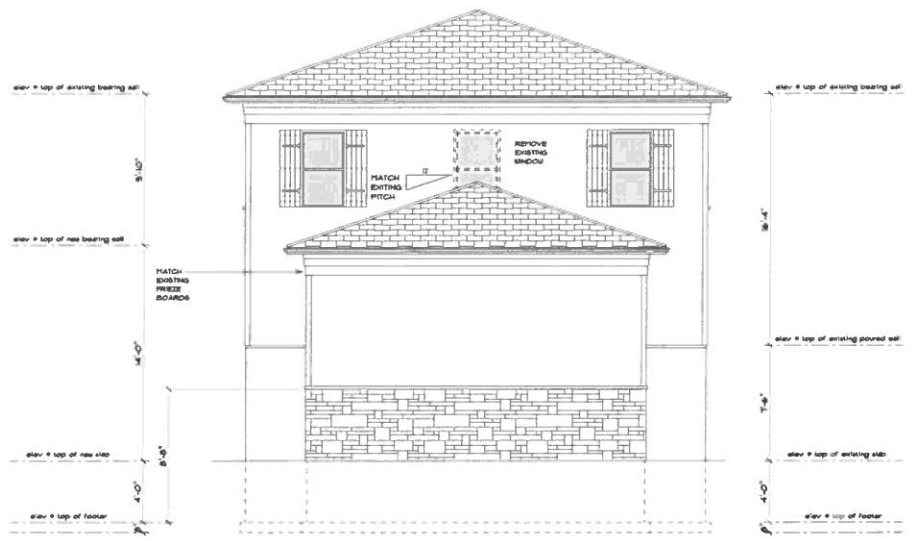
TOTAL 353

PLAN:

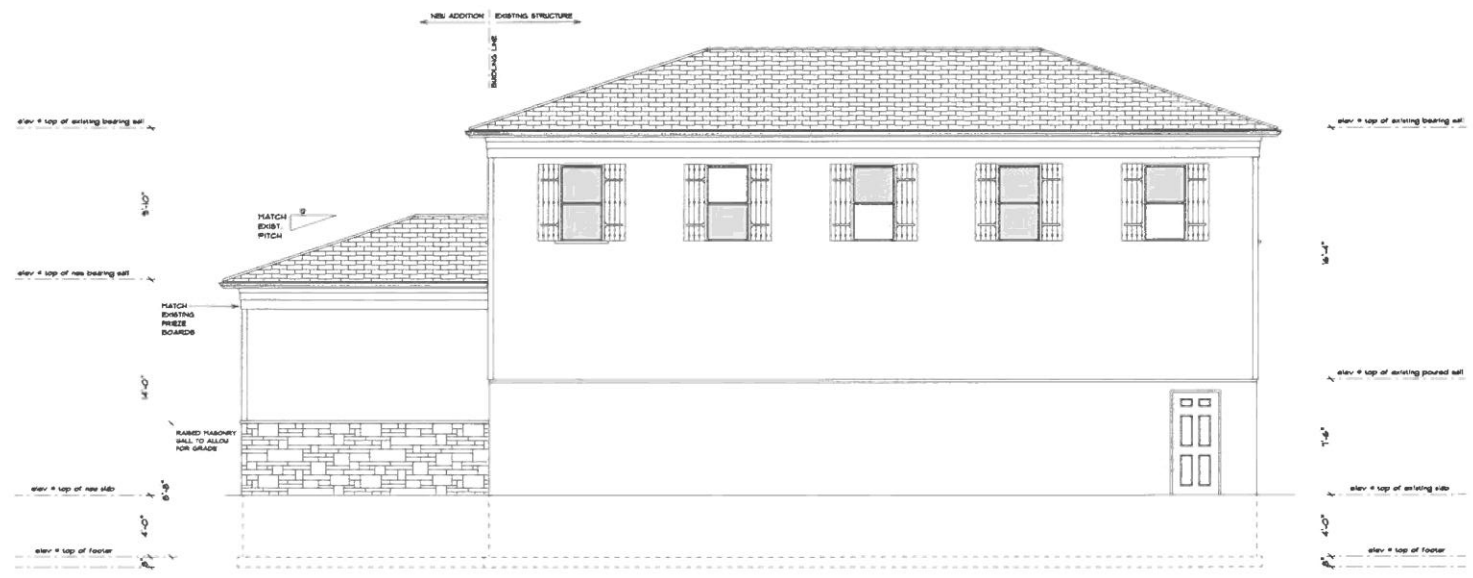
**SITE PLAN**

PAGE:

**A-1**



**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

**REVISIONS:**

1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	
21	
22	
23	
24	
25	
26	
27	
28	

**GENERAL NOTES:**

- 
- 
- 
- 
- 
- 
- 
- 
- 
- 
- 
- 
- 
- 
- 
- 
- 
- 
- 
- 
- 
- 
- 
- 
- 
- 
- 

**ELEVATION STANDARDS:**

- ELEVATIONS TO BE SET BY CONTRACTOR
- DOWNSPOUTS ARE NOT SHOWN FOR CLARITY
- ROOF PENETRATIONS TO BE KEPT TO REAR
- PROVIDE ATTIC VENTILATION PER LOCAL CODE
- PROVIDE ALL APPROPRIATE FLASHING
- PROVIDE ALL APPROPRIATE SADDLES, CRICKETS

**DRAWING PREPARED FOR:**  
CUSTOMER:  
ARTH & BRIANNE ALABURDA  
470 BARNBLEIGH DR  
BATH, OH 44333

**BUILDING ADDRESS:**  
470 BARNBLEIGH DR  
BATH, OH 44333

**CUSTOMER PLAN APPROVED SIGNATURES:**  
DATE:  
DATE:

PROFESSIONAL DRAWING BY:  
TAMIC VANDANT



**(330) 447 4346**  
**DRAFTING**  
**DESIGN AND**  
**BLUEPRINTS**

MADEYE@GLOBEALLOY.COM

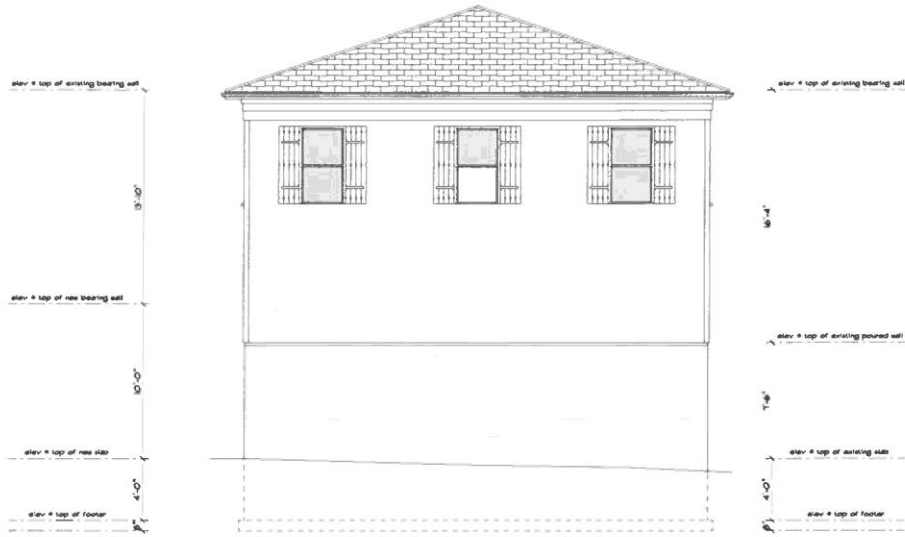
**ELEVATION LEGEND:**

—	LOT LINE	⬢	ROOF PITCH
○	LOT PIN	⬢	FLOOR DRAIN
---	SET BACK LINE	⬢	PLUMBING LINE
---	EASEMENT	⬢	PLUMBING DROP
▨	CONCRETE SLAB	⬢	FLUE
▨	ROOF PITCH	⬢	16" x 4" PLASTER
▨	FLOOR DRAIN	⬢	2" BLOCK LEDGE
▨	PLUMBING LINE	⬢	ELECTRICAL LINE
⊕	PLUMBING DROP	⬢	ROUND COLUMN
⊕	FLUE	⬢	SQUARE COLUMN
▨	16" x 4" PLASTER		
▨	2" BLOCK LEDGE		
---	ELECTRICAL LINE		
⊕	ROUND COLUMN		
▨	SQUARE COLUMN		

DATE: APRIL 26, 2015  
SCALE: 1/4" = 1'-0" / 1/8" = 1'-0"  
SQ. FT.  
SHT. 1st FLOOR: 397  
2nd FLOOR: 352  
TOTAL: 749

PLAN:  
**ELEVATIONS**

PAGE:  
**B-1**



**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

DESCRIPTION OF FIELD CHANGES & SPECIFIED SHALL. THE DRAFTSMAN HAS A SOLE OBLIGATION OF COMPETENCE IN ACCORDANCE WITH THE PROFESSIONAL ENGINEERING ACT. IT SHOULD BE KEPT IN MIND THAT CHANGES ARE NOT LIMITED TO THE DRAFTING & OTHER TASKS REFERRED TO IN THE CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE GENERAL CONTRACTOR'S OBLIGATIONS AND THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR SHALL REMAIN FULLY NOT BE COMPELLED TO ANY PARTY UNLESS EXPRESSLY CONTRACTED BY THE DRAWING.

NO.	REVISIONS:
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	
21	
22	
23	
24	
25	
26	
27	
28	
29	
30	
31	
32	
33	
34	

**GENERAL NOTES:**

- 1
- 2
- 3
- 4
- 5
- 6
- 7
- 8
- 9
- 10
- 11
- 12
- 13
- 14
- 15
- 16
- 17
- 18
- 19
- 20
- 21
- 22
- 23
- 24
- 25
- 26
- 27
- 28
- 29
- 30
- 31
- 32
- 33
- 34

**ELEVATION STANDARDS:**

- 1 ELEVATIONS TO BE SET BY CONTRACTOR
- 2 DIMENSIONS ARE NOT SHOWN FOR CLARITY
- 3 ROOF PENETRATIONS TO BE KEPT TO REAR
- 4 PROVIDE ATIC VENTILATION PER LOCAL CODE
- 5 PROVIDE ALL APPROPRIATE FLASHING
- 6 PROVIDE ALL APPROPRIATE SADDLES, CRICKETS

**DRAWING PREPARED FOR:**

CUSTOMER:  
JUSTIN & BARRANNE ALABURDA  
4710 BARNBLEIGH DR  
BATA, OH 44333

**BUILDING ADDRESS:**  
4710 BARNBLEIGH DR  
BATA, OH 44333

**CUSTOMER PLAN APPROVED SIGNATURES:**

DATE: \_\_\_\_\_  
DATE: \_\_\_\_\_  
DATE: \_\_\_\_\_

**PROFESSIONAL DRAFTER BY:**  
MARK VANZANT

**VANZANT DESIGN**

**(330) 447 4346**

**DRAFTING DESIGN AND BLUEPRINTS**

**MARKET@BOOKMARK.NET**

**ELEVATION LEGEND:**

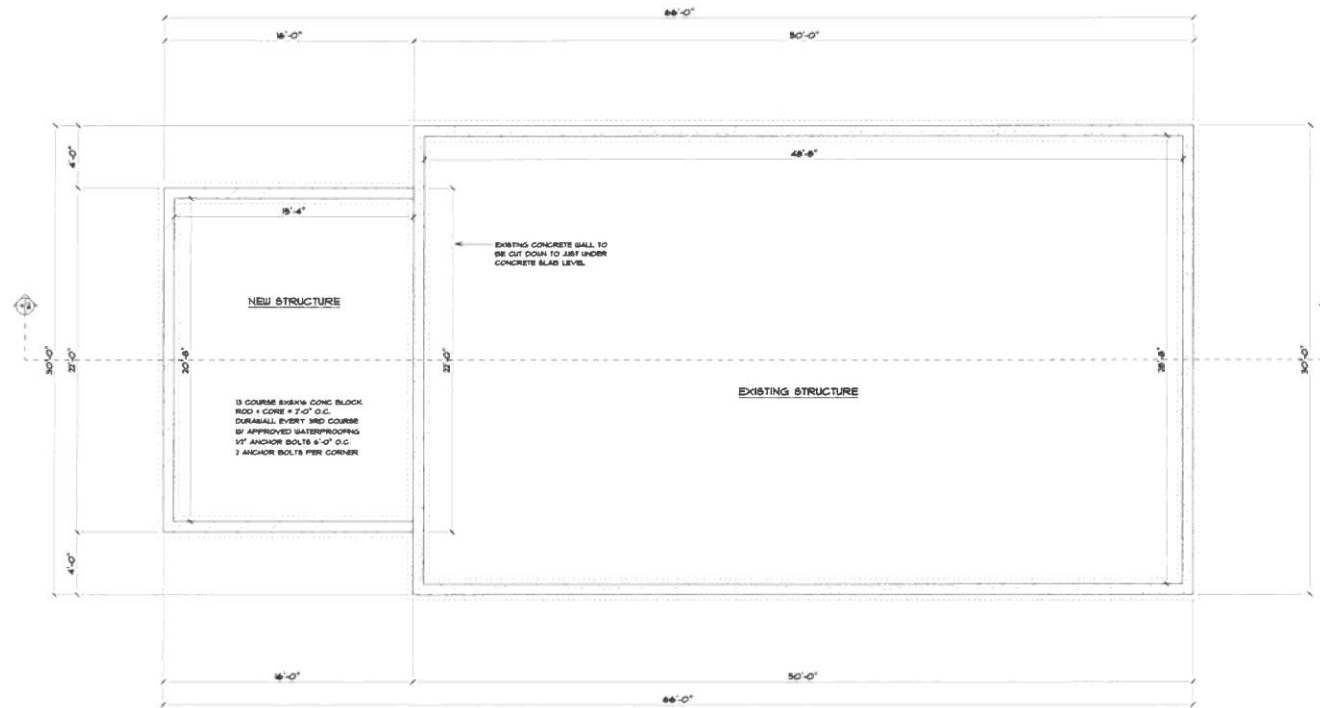
- LOT LINE
- LOT PIN
- SET BACK LINE
- BASEMENT
- CONCRETE SLAB
- ROOF PITCH
- FLOOR DRAIN
- PLUMBING LINE
- PLUMBING DROP
- FLUE
- 6" X 4" PLASTER
- 2" BLOCK LEDGE
- ELECTRICAL LINE
- ROUND COLUMN
- SQUARE COLUMN

**DATE:** APRIL 28, 2018  
**SCALE:** 1/4" = 1'-0" / 1/8" = 1'-0"  
**SG FT**

**FIN. SQMT:** 382  
**1st FLOOR:** 382  
**2nd FLOOR:** 382  
**TOTAL:** 382

**PLAN:**  
**ELEVATIONS**

**PAGE:**  
**B-2**



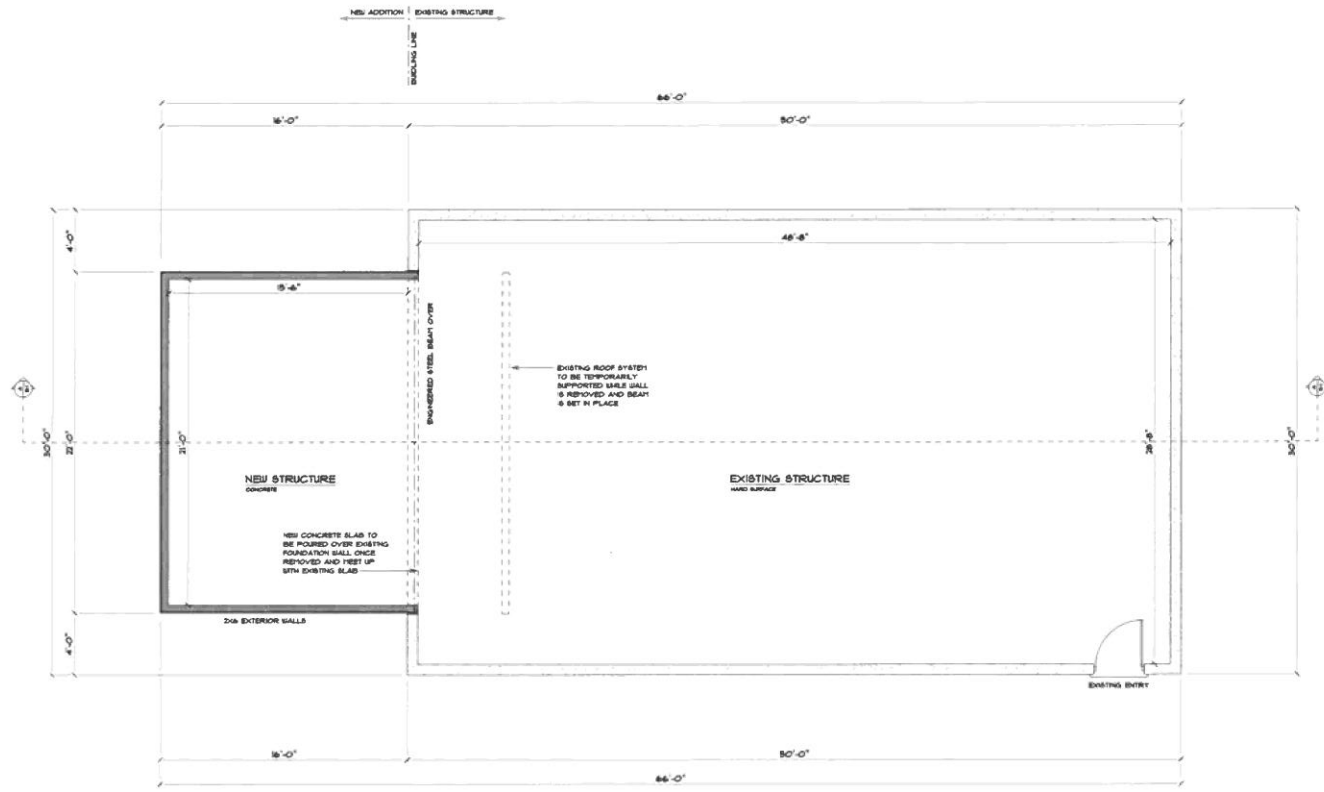
**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

**REVISIONS:**

1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	
21	
22	
23	
24	
25	
26	
27	
28	
29	
30	
31	
32	
33	
34	
35	
36	

<b>FOUNDATION STANDARDS:</b>	DRAWING PREPARED FOR:
1 CONTRACTOR TO VERIFY SOIL BEARING CONDITIONS	CUSTOMER:
2 PROVIDE ADEQUATE WALL BRACING AT BACKFILL	JERIN F. BISHAEE ALABAMA
3 CONCRETE FOOTERS 16" x 8" (UNLESS NOTED)	475 BARNBLEGH DR
4 CONCRETE BLOCK WALLS 8" (UNLESS NOTED)	BATH, OH 44333
5 2 COURSES OF CONCRETE BLOCK (UNLESS NOTED)	BUILDING ADDRESS:
6 ROD & CORE CONC. BLK WALLS = 8'-0" O.C. (U.N.)	475 BARNBLEGH DR
7 WALLS COATED WITH POLYMER WATERPROOFING	BATH, OH 44333
8 1" ANCHOR BOLTS = 4'-0" O.C. (U.N.)	CUSTOMER PLAN
9 1" ANCHOR BOLTS = BOTH SIDES OF ALL OPENINGS	APPROVED SIGNATURES:
10 30" x 30" x 12" CONCRETE POST PADS (U.N.)	DATE:
11 4" INTERIOR AND EXTERIOR FOOTER DRAINS	DATE:
12 8" x 8" x 4" BEAM POCKETS (UNLESS NOTED)	DATE:
13 16" x 4" BEAM PLASTERS	DATE:
14 PROVIDE TERMITE PROTECTION PER LOCAL CODE	PROFESSIONAL DRAFTER BY:
15 16" x 7" CONC. BLOCK SLAB LEDGES = 4'-0" O.C.	MARK VAGANT
16 1" ADJUSTABLE HOMO POINTS (UNLESS NOTED)	
17 ENGINEERED STEEL BEAMS (UNLESS NOTED)	
18 2" GRANULAR SLAB BASE WITH VAPOR BARRIER	
19 4" CONCRETE SLAB WITH 8#6 REEF	
20 PROVIDE EXP JOINT FLTL & SLABS & MASONRY	
21 PROVIDE DEEP SCORE CONTROL JOINTS ALL SLABS	
22	
23	
24	
25	
26	
27	
28	
29	
30	
31	
32	
33	
34	
35	
36	

<b>FOUNDATION LEGEND:</b>	DATE: APRIL 28, 2018
LOT LINE	SCALE: 1/4" = 1'-0" (U.N.)
LOT PIN	50 FT.
SET BACK LINE	BMT: 1st FLOOR: 352
EASEMENT	2nd FLOOR: 352
CONCRETE SLAB	TOTAL: 352
ROOF PITCH	PLAN:
FLOOR DRAIN	FOUNDATION
PUMPING LINE	PAGE:
PUMPING DROP	C-1
FLUE	
16" x 4" PLASTER	
2" BLOCK LEDGE	
ELECTRICAL LINE	
ROUND COLUMN	
SQUARE COLUMN	



**MAIN FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

REVISIONS:

1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	
21	
22	
23	
24	
25	
26	
27	
28	
29	
30	
31	
32	
33	
34	

GENERAL NOTES:

**FRAMING STANDARDS:**

- FRAMING LOADS TO BE VERIFIED BY CONTRACTOR
- EXT. DIMENSIONS SHOWN ARE TO OUTSIDE OF BMTS.
- INT. DIMENSIONS SHOWN ARE TO ROUGH FRAME
- 2x6 SILL PLATE (UNLESS NOTED)
- 2x10 FLOOR JOISTS @ 16" O.C. UNLESS NOTED (U.N.)
- 3/4" T&G OSB SUBFLOOR (GLUED & SCRUBBED (U.N.))
- 2x4 END WALLS @ 16" O.C. W/ DBL TOP PLATE (U.N.)
- 2x10 EXTERIOR DOOR & WINDOW HEADERS (U.N.)
- 3/4" OSB WALL SHEATHING (U.N.)
- 2x4 TRUSS SYSTEM @ 24" O.C. UNLESS NOTED (U.N.)
- 1/2" OSB ROOF SHEATHING BY APPROVED CLIPS (U.N.)
- SOLID BLOCKING @ ALL HANDRAIL LOCATIONS
- WINDOWS TO MEET PROPER EGRESS REGULATIONS
- USE PROPER METAL HANGERS & CLIPS AS NEEDED
- DOUBLE RIB JOIST OVER BSMT WINDOW SILLINGERS
- ALL BALLOON FRAMED WALLS TO BE 2x6 (U.N.)
- 2x6 SUB-FASCIA AND RAKES (U.N.)
- 12" OVERHANGS AND RAKES (U.N.)

**FRAMING PREPARED FOR:**

CUSTOMER:  
JUSTIN & DEBRA ALBURDA  
4710 BARNBLEIGH DR  
BATH, OH 44333

**BUILDING ADDRESS:**  
4710 BARNBLEIGH DR  
BATH, OH 44333

**CUSTOMER PLAN APPROVED SIGNATURES:**

DATE: \_\_\_\_\_  
DATE: \_\_\_\_\_  
DATE: \_\_\_\_\_

**PROFESSIONAL DRAWING BY:**  
MARK VANZANT



**(330) 447 4348**  
**DRAFTING**  
**DESIGN AND**  
**BLUEPRINTS**  
MARKVANS@BSCGLOBAL.NET

**FRAMING LEGEND:**

LOT LINE	REVISION MARKER
LOT PIN	REVISION MARKER
SET BACK LINE	REVISION MARKER
EASEMENT	REVISION MARKER
CONCRETE SLAB	REVISION MARKER
ROOF PITCH	REVISION MARKER
FLOOR DRAIN	REVISION MARKER
PLUMBING LINE	REVISION MARKER
PLUMBING DROP	REVISION MARKER
FLUE	REVISION MARKER
1" x 4" PLASTER	REVISION MARKER
7" BLOCK LEDGE	REVISION MARKER
ELECTRICAL LINE	REVISION MARKER
ROUND COLUMN	REVISION MARKER
SQUARE COLUMN	REVISION MARKER

DATE: APRIL 30, 2018  
SCALE: 1/4" = 1'-0" (U.N.)  
SQ. FT.  
BSMT. 141 FLOOR. 367  
TOTAL. 507  
PLAN:  
**FLOOR PLAN**  
PAGE:  
**D-1**

REVISIONS:	
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	
21	
22	
23	
24	
25	
26	
27	
28	

**GENERAL NOTES:**

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28

**FRAMING STANDARDS:**

1. FRAMING LOADS TO BE VERIFIED BY CONTRACTOR
2. EXT. DIMENSIONS SHOWN ARE TO OUTSIDE OF SHTG.
3. INT. DIMENSIONS SHOWN ARE TO ROUGH FRAME
4. 2x8 SILL PLATE (UNLESS NOTED)
5. 2x10 FLOOR JOISTS @ 16" O.C. UNLESS NOTED (A.L.N.)
6. 3/4" T&G OSB SUBFLOOR (GLUED & SCREWED A.L.N.)
7. 2x4 STUD WALLS @ 16" O.C. w/ OBL TOP PLATE (A.L.N.)
8. 2x10 EXTERIOR DOOR + WINDOW HEADERS (A.L.N.)
9. 1/2" OSB SHEATHING (A.L.N.)
10. 2x4 TRUSS SYSTEM @ 24" O.C. UNLESS NOTED (A.L.N.)
11. 1/2" OSB ROOF SHEATHING w/ APPROVED CLIPS (A.L.N.)
12. GOLF BLOCCING @ ALL HANDRAIL LOCATIONS
13. WINDOWS TO MEET PROPER ENERGY REGULATIONS
14. USE PROPER METAL HANGERS + CLIPS AS NEEDED
15. DOUBLE RFT JOIST OVER BATH WINDOW SPANNERS
16. ALL BALLOON FRAMED WALLS TO BE 2x6 (A.L.N.)
17. 2x6 SUB-FASCIA AND RAKES (A.L.N.)
18. 0" OVERHANGS AND RAKES (A.L.N.)

**DRAWING PREPARED FOR:**  
 CUSTOMER:  
 JUSTIN + BRIANNE ALABRIDA  
 470 BARNHURST DR  
 BATH, OH 44333

**BUILDING ADDRESS:**  
 470 BARNHURST DR  
 BATH, OH 44333

**CUSTOMER PLAN:**  
 APPROVED SIGNATURE:  
 DATE:  
 DATE:

**PROFESSIONAL DRAWING BY:**  
 PARK VAUGHN



**(330) 447 4348**  
**DRAFTING**  
**DESIGN AND**  
**BLUEPRINTS**  
 PARKVAUGHN.COM

**FRAMING LEGEND:**

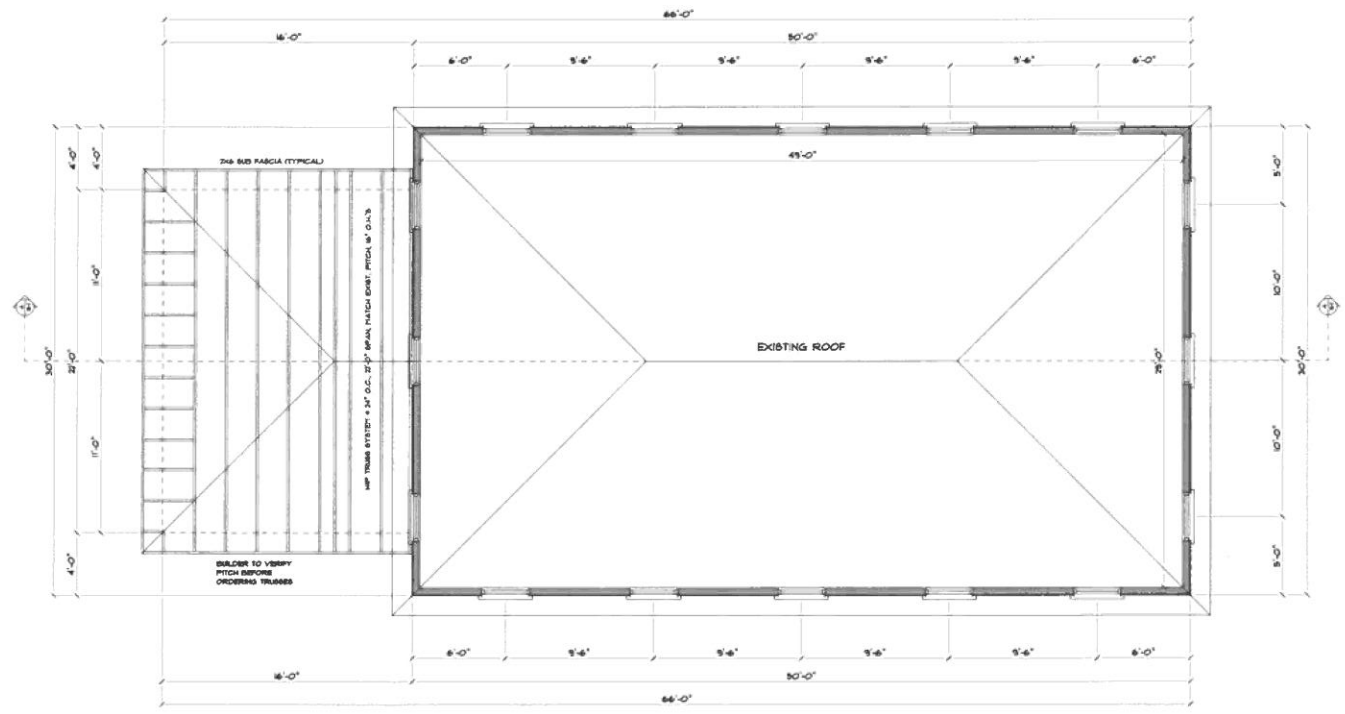
LOT LINE	[Symbol]
LOT FIN	[Symbol]
NET BACK LINE	[Symbol]
BASEMENT	[Symbol]
CONCRETE SLAB	[Symbol]
ROOF PITCH	[Symbol]
FLOOR DRAIN	[Symbol]
PLUMBING LINE	[Symbol]
PLUMBING DROP	[Symbol]
FLUE	[Symbol]
6" x 4" PLASTER	[Symbol]
2" BLOCK LEDGE	[Symbol]
ELECTRICAL LINE	[Symbol]
ROUND COLUMN	[Symbol]
SQUARE COLUMN	[Symbol]
REVISION MARKER	[Symbol]

**DATE:** APRIL 29, 2025  
**SCALE:** 1/4" = 1'-0" (A.L.N.)  
 80 FT.

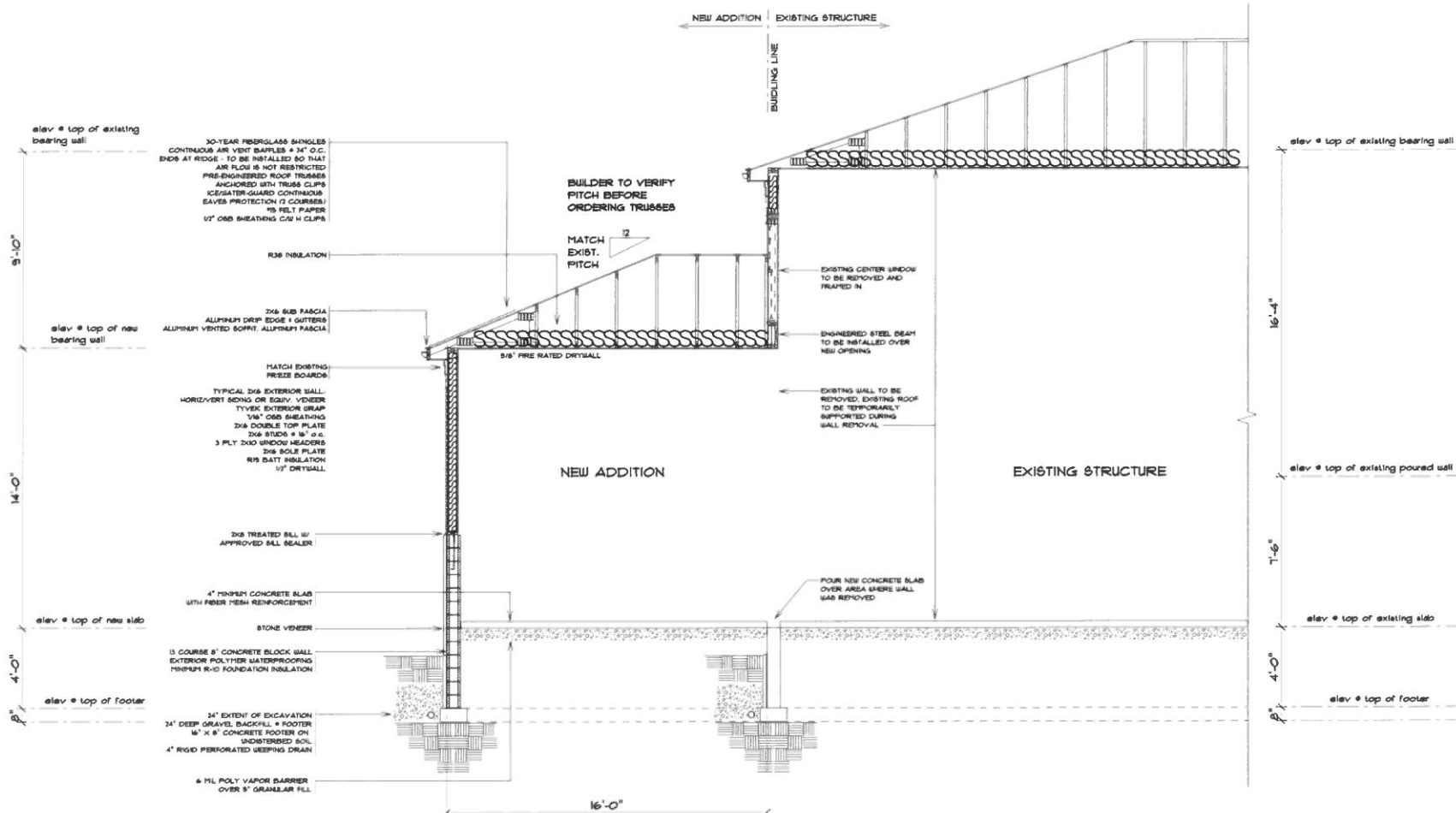
**FIN. BATH:** 350  
**3rd FLOOR:** 350  
**2nd FLOOR:** 350  
**TOTAL:** 350

**PLAN:**  
**FRAMING PLAN**

**PAGE:**  
**D-3**



**UPPER WALL / ROOF PLAN**  
 SCALE: 1/4" = 1'-0"



**BUILDING SECTION**  
3/8" = 1'-0"

REVISIONS:	
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	
21	
22	
23	
24	
25	
26	
27	
28	
29	
30	
31	
32	
33	
34	

SECTION / DETAIL STANDARDS:	
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	
21	
22	
23	
24	
25	
26	
27	
28	
29	
30	
31	
32	
33	
34	

DRAWING PREPARED FOR:

CUSTOMER:  
JIMMY & DIANE ALABURDA  
470 BARNHUGH DR  
BATH, OH 44333

BUILDING ADDRESS:  
470 BARNHUGH DR  
BATH, OH 44333

CUSTOMER PLAN APPROVED SIGNATURES:  
DATE:  
DATE:

PROFESSIONAL DRAWING BY:  
MARK YAGENT

**VANTAGE DESIGN**

**(330) 447 4348**

**DRAFTING DESIGN AND BLUEPRINTS**

MARKET@GLOBEONLINE.NET

SECTION / DETAIL LEGEND:	
LOT LINE	
LOT FIN	
SET BACK LINE	
EASEMENT	
CONCRETE SLAB	
ROOF PITCH	
FLOOR DRAIN	
PURFING LINE	
PURFING DROP	
FLUE	
1/2" x 4" PLASTER	
1" BLOCK LEDGE	
ELECTRICAL LINE	
ROUND COLUMN	
SQUARE COLUMN	

DATE: APRIL 28, 2015

SCALE: AS SHOWN  
80 FT.

BMT: 1st FLOOR: 382  
2nd FLOOR: 382  
TOTAL: 764

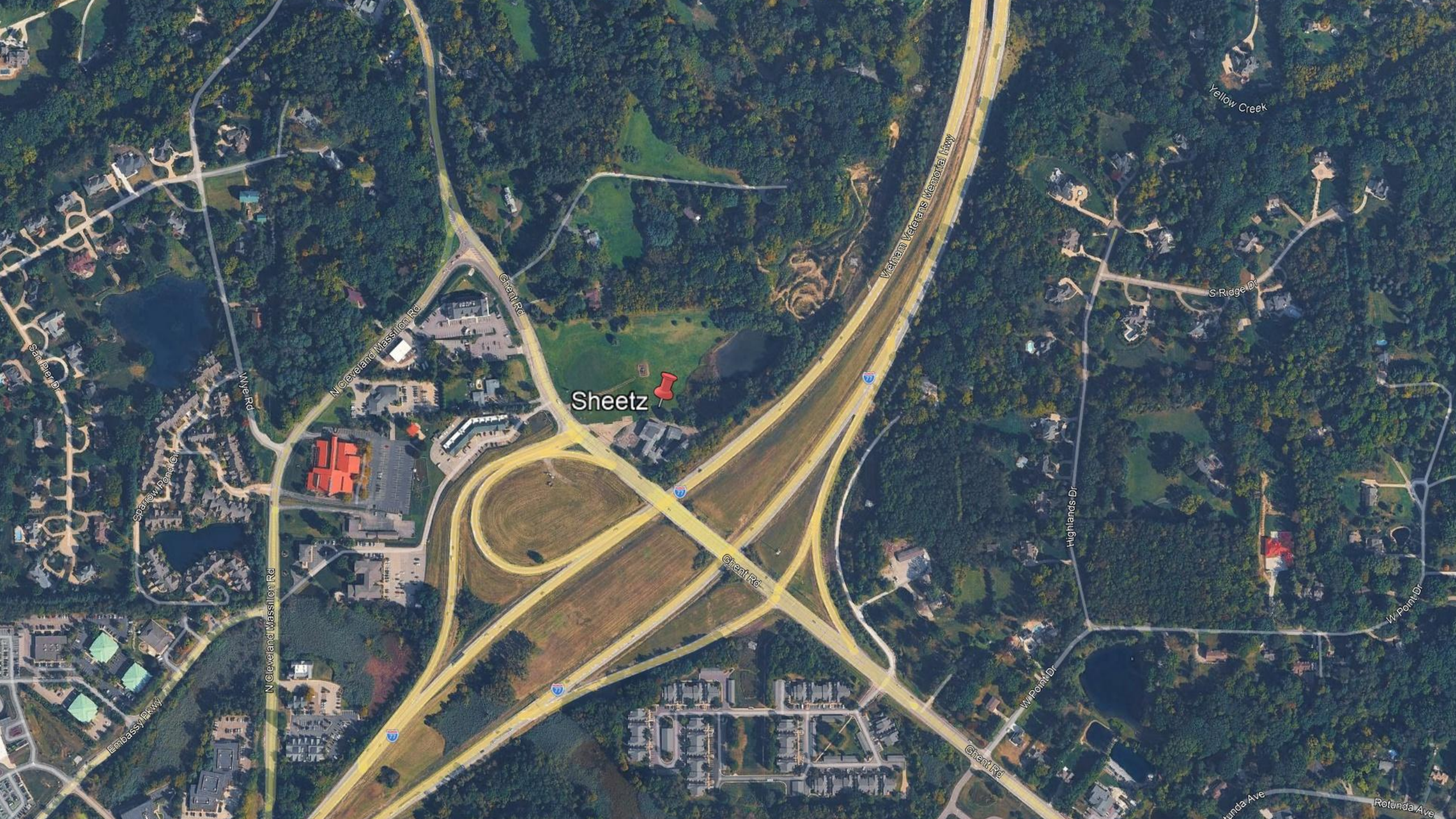
PLAN:  
**DETAILS & SECTIONS**

PAGE:  
**E-1**

- Jeff Deeds of Visconsi Land Co.
- 981 Ghent Rd.
- Requesting variances from Article 5, Section 503(S)(4) to exceed the maximum permitted driveway approaches and Section 504(B)(4) to exceed the maximum permitted building footprint for a proposed Sheetz development.



*BZA 26-06*



Sheetz



Yellow Creek

S Ridge Dr

Highlands Dr

W Point Dr

tunda Ave

Rotunda Ave

Vietnam Veterans Memorial Hwy

Chent Rd

Chent Rd

Chent Rd

N Cleveland Massillon Rd

N Cleveland Massillon Rd

Wye Rd

Sparrow Pond Cir

Sam Per Dr

Embassy Pkwy



0405566

0400040

0401023

0401022

0404943

0407551

0407234

0400325

GHENT RD TO I77 S  
I77 S TO GHENT RD

1000

0402225

1000

960

0405699

970

980

990

1010

940

950

930

0405822

0405707

0402952

940

950

GHENT RD TO I77 N  
GHENT RD TO I77 N

NCLEVELAND MASSILLON

1000

GHENT RD

GHENT RD

GHENT RD

I77

I77

I77

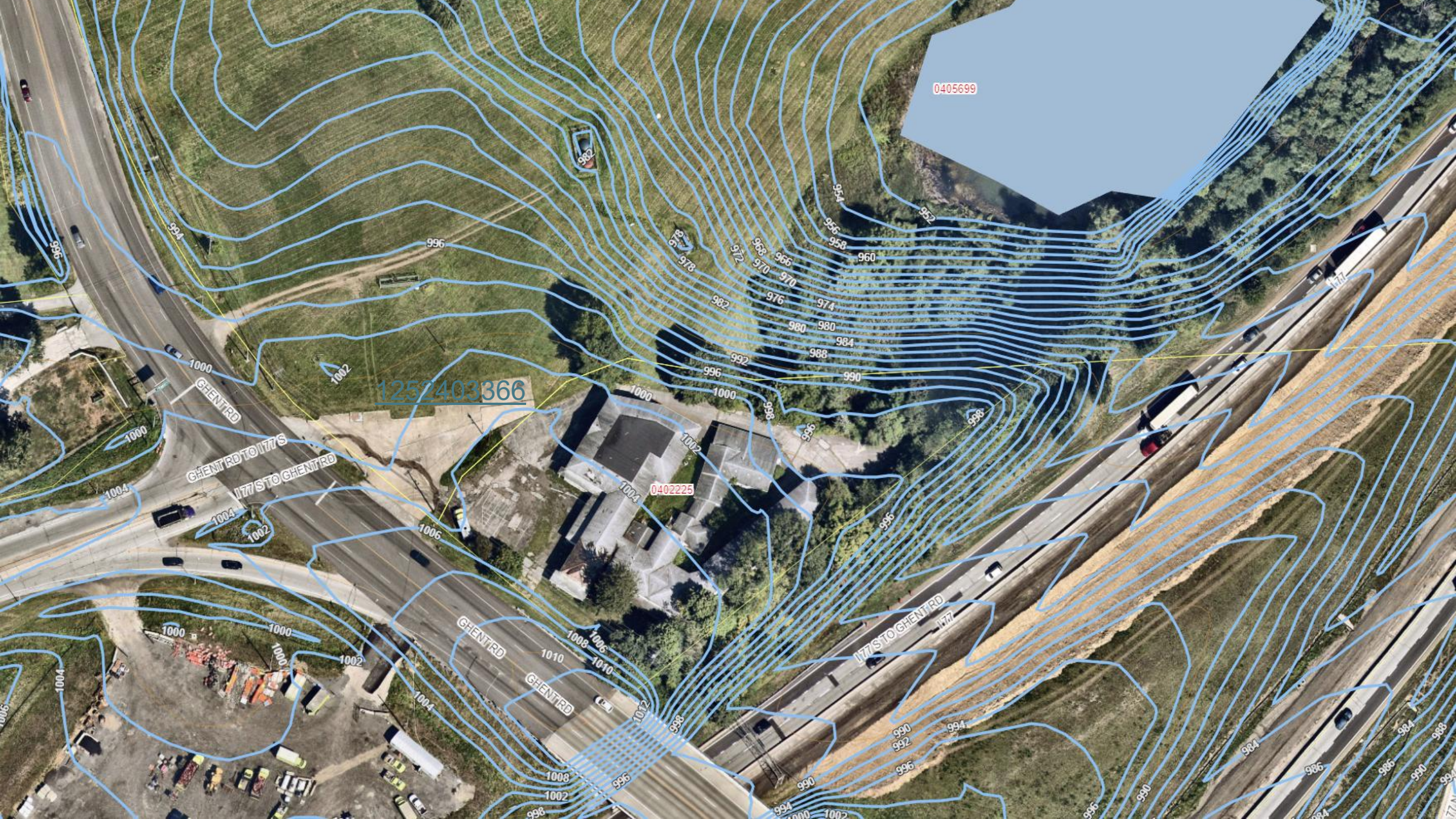
I77

I77

I77

I77

I77



0405699

1252403366

0402225

GHENT RD

GHENT RD TO 177 S

177 ST TO GHENT RD

GHENT RD

GHENT RD

177 ST TO GHENT RD

177



880 Corporate Exchange Dr., Suite 400  
Akron, OH 44316  
Phone: 314.749.4500 Fax: 314.749.4501

VISCONSI COMPANIES, LTD

C-STORE DEVELOPMENT

981 GHENT ROAD  
AKRON, OH 44333

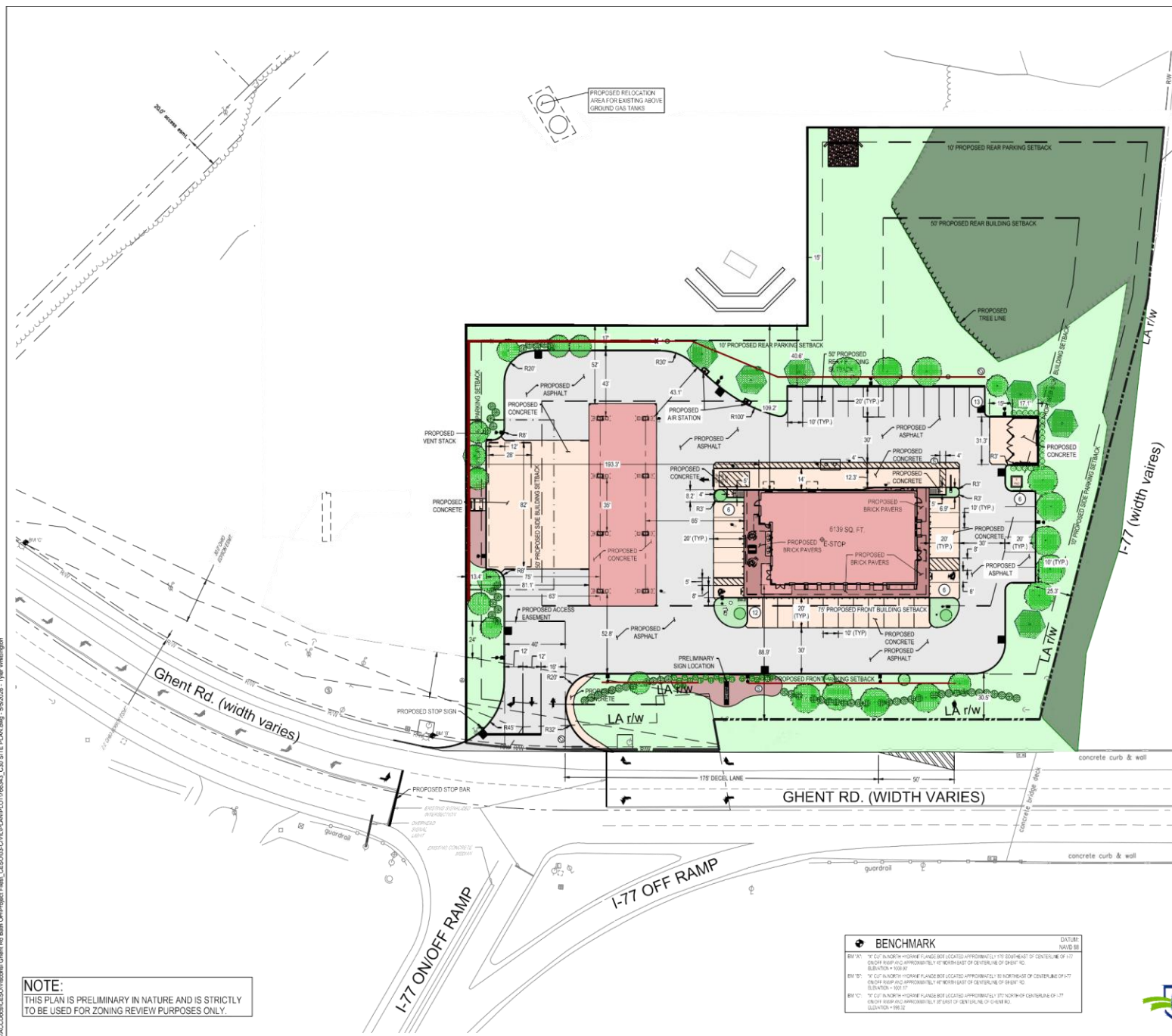
Revisions / Submissions

ID	Description	Date

Project Number: 766343  
 Scale: AS SHOWN  
 Drawn By: MST  
 Checked By: RAP  
 Date: 03.30.2026  
 Issue: PRELIMINARY

Drawing Title: SITE PLAN

C3.0



- EXISTING LEGEND**
- Anchor Pole
  - Guy Wire
  - Catch Basin
  - Curbs Inlet
  - Downspout
  - Deciduous Tree
  - Electric Box
  - Electric Meter
  - Fire Hydrant
  - Gas Meter
  - Light Pole
  - Power Telephone Light Pole
  - Power Light Pole
  - Sanitary Manhole
  - Sign
  - Signal Pole
  - Storm Manhole
  - Communications Box
  - Telephone Pole
  - Traffic Box
  - Water Valve
  - Water Shut-off
  - Gas Line
  - Water Line
  - Underground Electric
  - Underground Communications
  - Overhead Utility Line
  - Storm Sewer
  - Sanitary Sewer
  - Centerline Data
  - Tree Line

- SITE LEGEND**
- PROPOSED**
- BUILDING
  - CONCRETE CURB
  - EDGE OF PAVEMENT / WALK
  - ASPHALT / CONCRETE TRANSITION
  - PARKING SPACE COUNT
  - SIGN

- UTILITY LEGEND**
- PROPOSED**
- CATCH BASIN
  - STORM SEWER
  - SANITARY SEWER
  - CLEANCUT
  - DOWNSPOUT
  - WATER VALVE

**PARKING COUNT = 43 SPACES**

**GENERAL NOTES:**

- ALL PAVEMENT MARKINGS SHALL BE YELLOW.

**SITE COVERAGE**  
 PROPOSED PERVIOUS = 1.62 ACRES (51%)  
 PROPOSED IMPERVIOUS = 1.60 ACRES (49%)  
 TOTAL AREA = 3.22 ACRES

**BENCHMARK**

DATE: 11/15/25

BPT 1A:	1" OF NORTH-HORIZONTAL PLANE BUT LOCATED APPROXIMATELY 175' SOUTHWEST OF CENTERLINE OF I-77 OFF-RAMP AND APPROXIMATELY 10' WEST OF CENTERLINE OF GHENT RD.	ILLUMINATION = 100.0'
BPT 1B:	1" OF NORTH-HORIZONTAL PLANE BUT LOCATED APPROXIMATELY 10' NORTH OF CENTERLINE OF I-77 OFF-RAMP AND APPROXIMATELY 40' NORTH OF CENTERLINE OF GHENT RD.	ILLUMINATION = 100.0'
BPT 1C:	1" OF NORTH-HORIZONTAL PLANE BUT LOCATED APPROXIMATELY 875' NORTH OF CENTERLINE OF I-77 OFF-RAMP AND APPROXIMATELY 85' WEST OF CENTERLINE OF GHENT RD.	ILLUMINATION = 100.0'

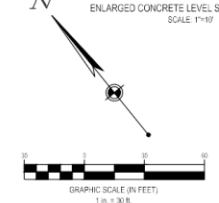
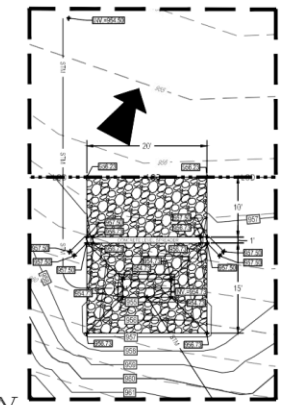
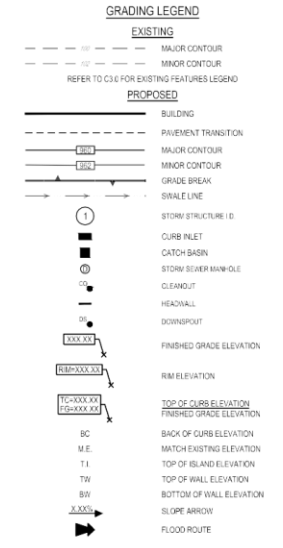
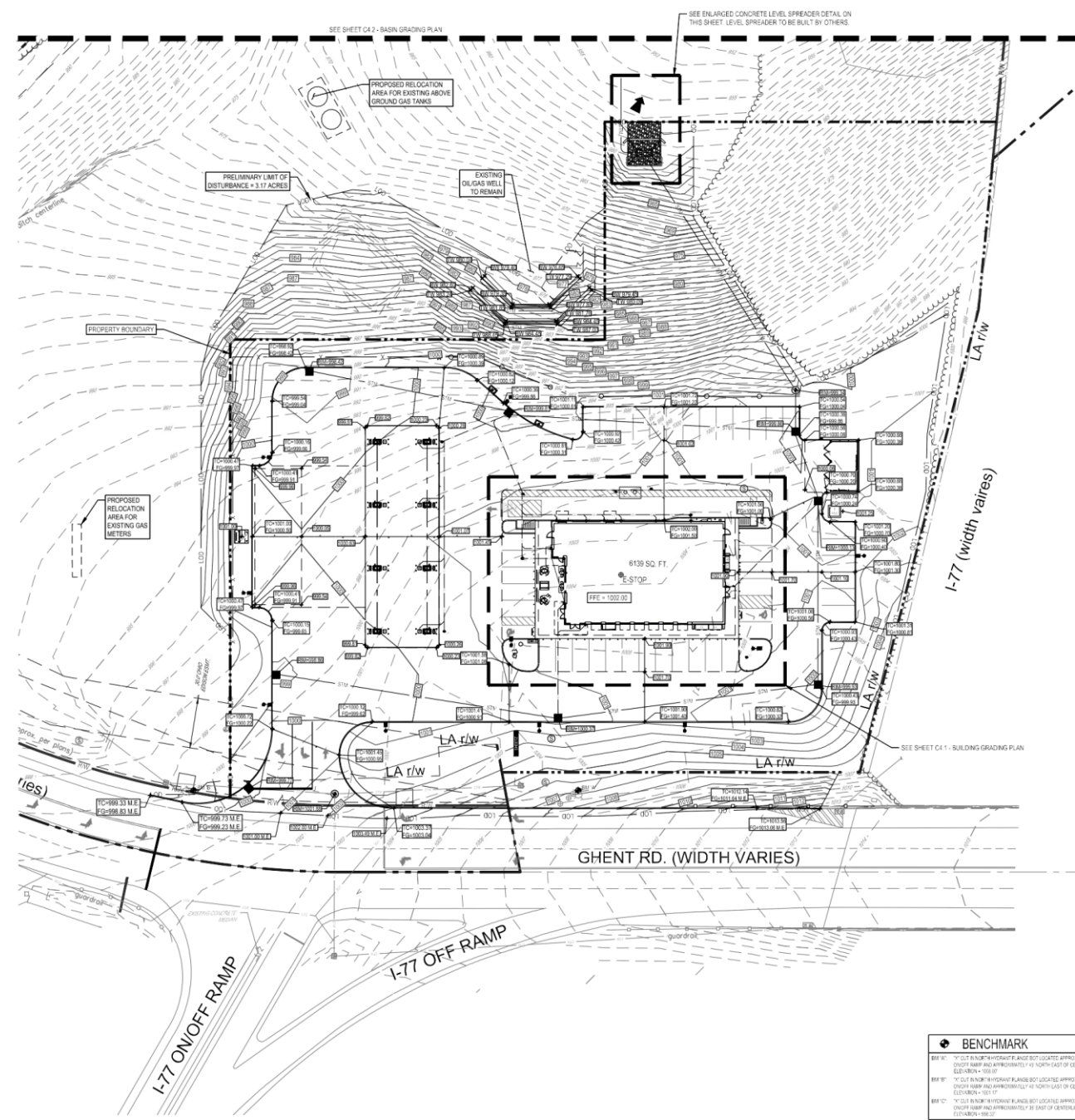
**NOTE:**  
 THIS PLAN IS PRELIMINARY IN NATURE AND IS STRICTLY TO BE USED FOR ZONING REVIEW PURPOSES ONLY.



FORTY EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES AND UTILITIES PROTECTION SERVICE AT 811 OR 800-362-2704 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVED THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE

C:\BAC\AC\CESO\Visconsi\Ghent Rd. Bldg. Off-Ramp\PL\AM\PL071765343\_C30 SITE PLAN.dwg - 05/02/26 - Type: Worksheet

C:\DCC\ACCES\CECO\Visions\Ghent Rd. Bldg. Off\Project\Rev1\_CES03D-COVL.PLAN\LOT1765H3\_C06 GRADING PLAN.dwg - 4/19/2025 - Michael Trainor



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO UTILITIES PROTECTION SERVICE AT 811 OR 800-362-2784 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE MEMBERS OF STATE UTILITIES PROTECTION SERVICE.

BENCHMARK		DATUM	
		NAVD 88	
BM 14	1" x 12" IN NORTH-HORIZONTAL PLANE (NOT LOCATED APPROXIMATELY 175' SOUTHWEST OF CENTERLINE OF I-77 OFF-RAMP AND APPROXIMATELY 65' NORTH-EAST OF CENTERLINE OF GHENT RD.)	ELEVATION	100.00'
BM 15	1" x 12" IN NORTH-HORIZONTAL PLANE (NOT LOCATED APPROXIMATELY 45' NORTH-EAST OF CENTERLINE OF I-77 OFF-RAMP AND APPROXIMATELY 45' NORTH-EAST OF CENTERLINE OF GREAT RD.)	ELEVATION	100.10'
BM 17	1" x 12" IN NORTH-HORIZONTAL PLANE (NOT LOCATED APPROXIMATELY 275' NORTH OF CENTERLINE OF I-77 OFF-RAMP AND APPROXIMATELY 35' EAST OF CENTERLINE OF GHENT RD.)	ELEVATION	100.02'

**NOTE:**  
THIS PLAN IS PRELIMINARY IN NATURE AND IS STRICTLY TO BE USED FOR ZONING REVIEW PURPOSES ONLY.



**VISCONSI COMPANIES, LTD**

**C-STORE DEVELOPMENT**

981 GHEENT ROAD  
AKRON, OH 44333

Revisions / Submissions		
ID	Description	Date

Project Number: 766343  
 Scale: AS SHOWN  
 Drawn By: MST  
 Checked By: RAP  
 Date: 03.30.2025  
 Issue: PRELIMINARY

Drawing Title:  
**GRADING PLAN**

**C4.0**









## MATERIALS FOR BATH TOWNSHIP



ALBANY BY GLEN-GERY BRICK



GREY ASH BY GLEN GERY BRICK



COMPOSITE WOOD BARN FENCE



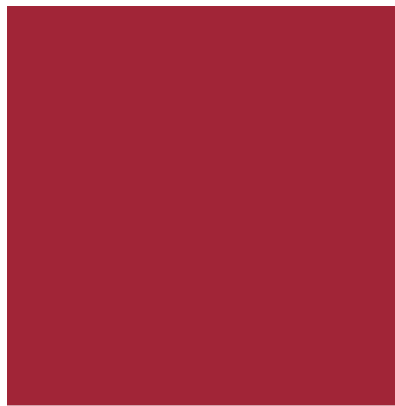
4' & 6' COMPOSITE WOOD FENCE  
CATALST, BRECKENRIDE, RED CEDAR



RED ACM



DARK BRONZE METAL



RED METAL



GOOSENECK LIGHT FIXTURES



# BATH



## Township

### Design Guidelines



*New*

*England-*

*inspired*

*settlement*

*patterns and*

*traditional*

*building types*

*contribute to*

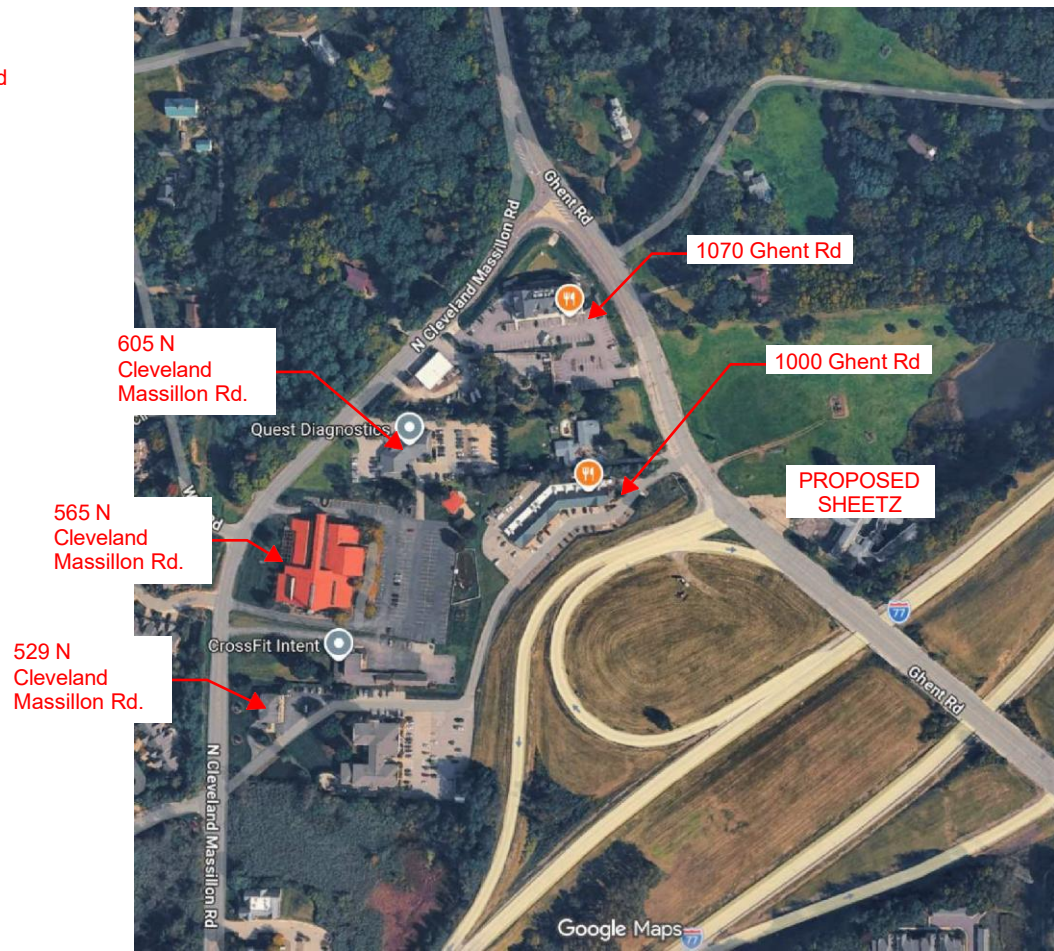
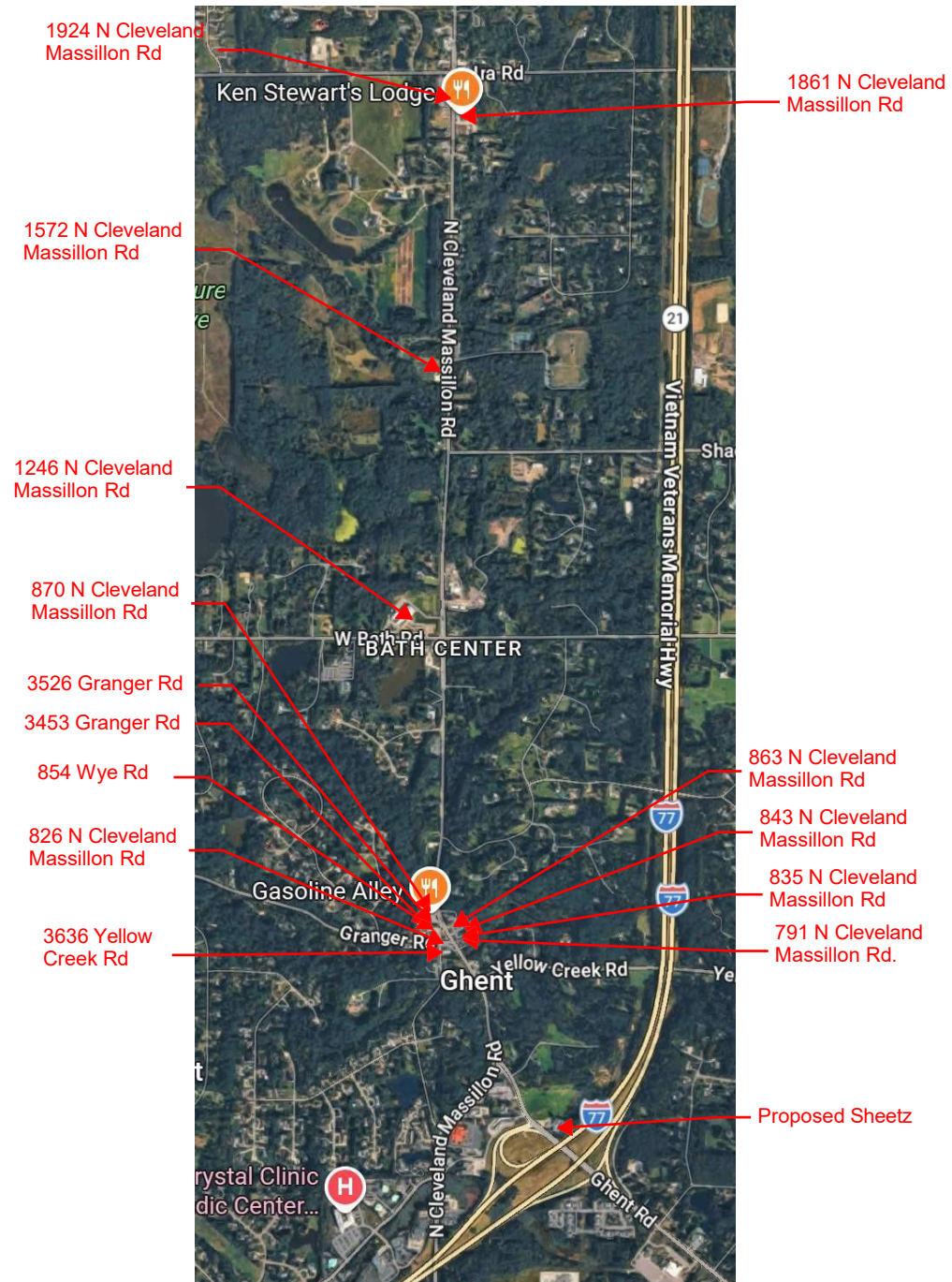
*the sense of*

*rural*

*character.*

Bath Township is located in the western part of Summit County in an area of the state known as Connecticut's **Western Reserve**.

1. Preserve existing historic properties which contribute to the visual quality and rural character of the corridor and the villages. Historic properties usually are buildings and structures that are at least 50 years old and still retain their architectural character; but often there may be properties of lesser age that also are important. The many excellent historic houses, barns and public buildings throughout the corridor are important elements of the township's environment.
2. Analyze every site to determine its significant physical attributes before planning and designing any development of the site. Develop a design that respects the unique attributes of each site, especially tree cover, existing structures, streams and ponds, hillsides, and vistas. Avoid destroying trees, reconfiguring the topography, or placing new structures in the center of otherwise open sites.
3. Design new buildings so they are compatible with surrounding buildings, so they **enhance rather than diminish the area's sense of rural character**. Buildings should be sited to avoid protruding above the surrounding treetops and should not be sited at the crests of hills if they will be visible from a public right-of-way. Encourage the use of traditional forms and materials for new buildings in highly visible locations such as the three villages, and encourage visual screening for buildings utilizing non-traditional forms and materials.
4. Utilize existing roads and driveways where possible. Avoid cutting of trees and alteration of the landscape to accommodate new roads and driveways.
5. Encourage the planting of new trees to ensure that when mature trees are lost to storms or old age, their replacements are already well established.





1000 Ghent Rd.

1070 Ghent Rd.



605 N Cleveland Massillon Rd.



529 N Cleveland Massillon Rd.



565 N Cleveland Massillon Rd.



3636 Yellow Creek Rd.



791 N Cleveland Massillon Rd.



826 N Cleveland Massillon Rd.



843 N Cleveland Massillon Rd.





863 N Cleveland Massillon Rd



870 N Cleveland Massillon Rd



3453 Granger Rd



854 Wye Rd



835 N Cleveland Massillon Rd



3526 Granger Rd, Akron, OH 44333



1246 N Cleveland Massillon Rd



1572 N Cleveland Massillon Rd



1861 N Cleveland Massillon Rd



1924 N Cleveland Massillon Rd

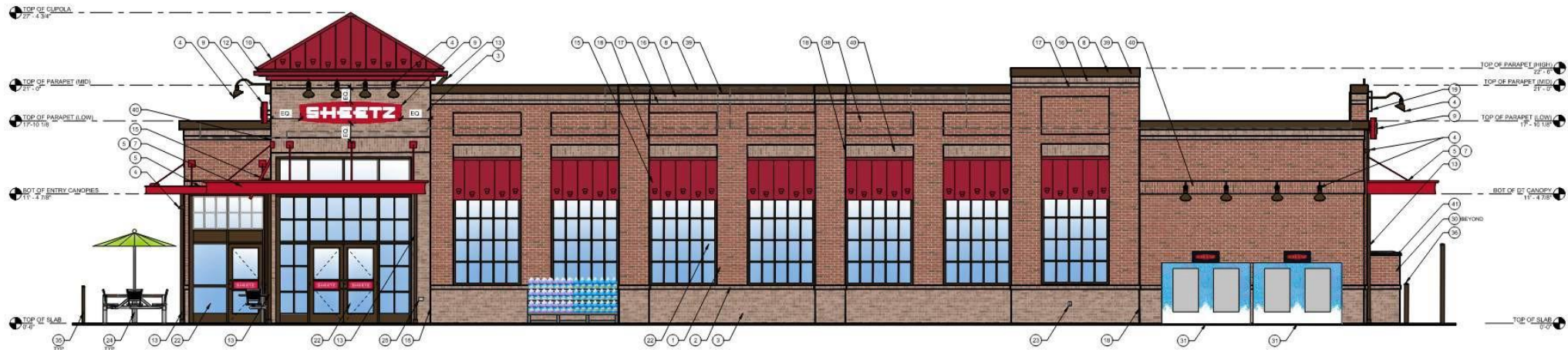


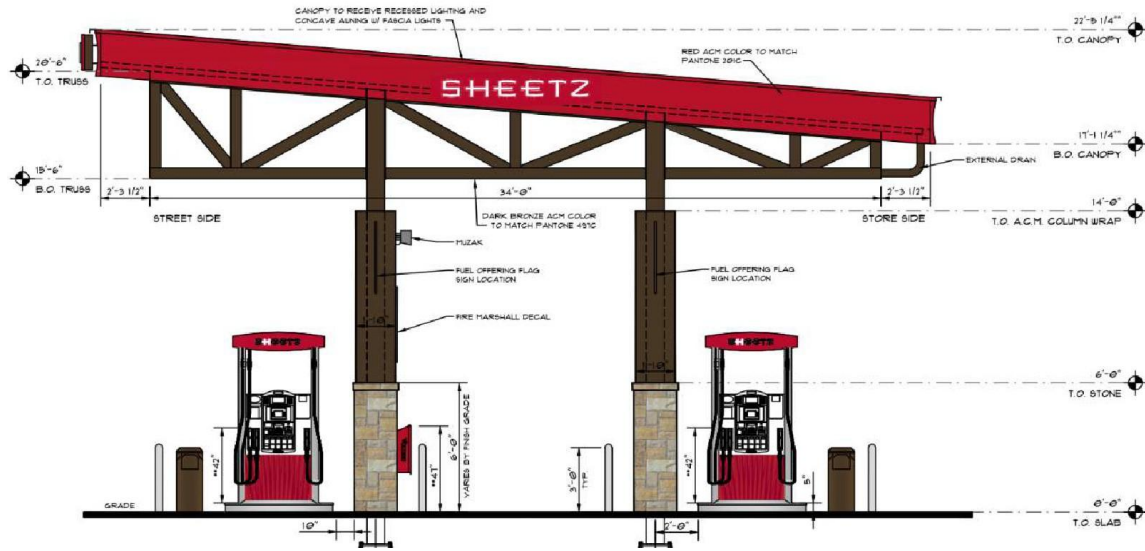
**Sheetz Prototype:**

- \* Brick building with Stone base (680 by Continental Brick and Crab Orchard)
- \* 17'-10 1/8" Top Parapet with Dark Bronze Metal Roof Screen
- \* Top of Cupola 26'-0"
- \* Windows 6'-0" from ground
- \* Internally illuminated signs
- \* Propane tanks on side of building
- \* Traditional Building lighting

**Elevations for Bath Township:**

- \* Brick building with recesses, window accents, brick details, and differing brick base (Albany and Grey Ash by Glen Gery)
- \* 21'-0" Top of Parapet that is all brick for Roof Screen
- \* Raised Top of Cupola to 27'-4 3/4"
- \* Windows 3'-4 1/4" from ground, with additional panels
- \* Signs externally illuminated with gooseneck style lights
- \* Propane tanks screened with brick walls and decorative fence on side of building
- \* Gooseneck style lights





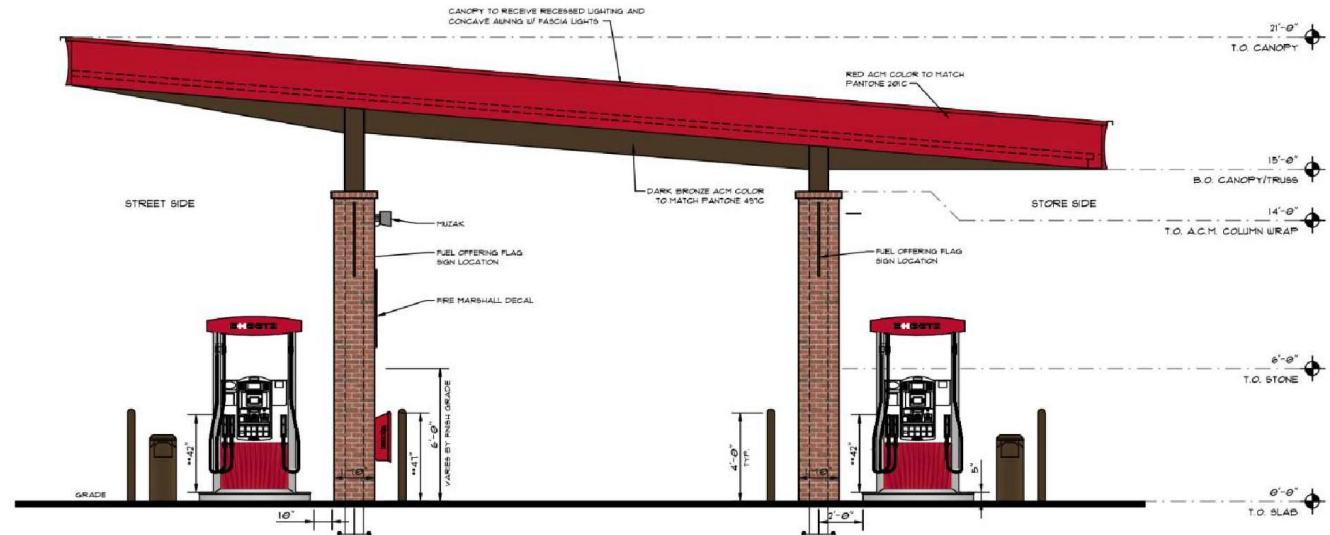
**Sheetz Prototype Gas Canopy:**

- \* 6'-0" stone wrap on columns (Crab Orchard)
- \* Dark Bronze Truss Details
- \* 22'-5 1/4" height
- \* 15'-6" clearance
- \* 8'-0" less distance between pumps
- \* LED light band under canopies



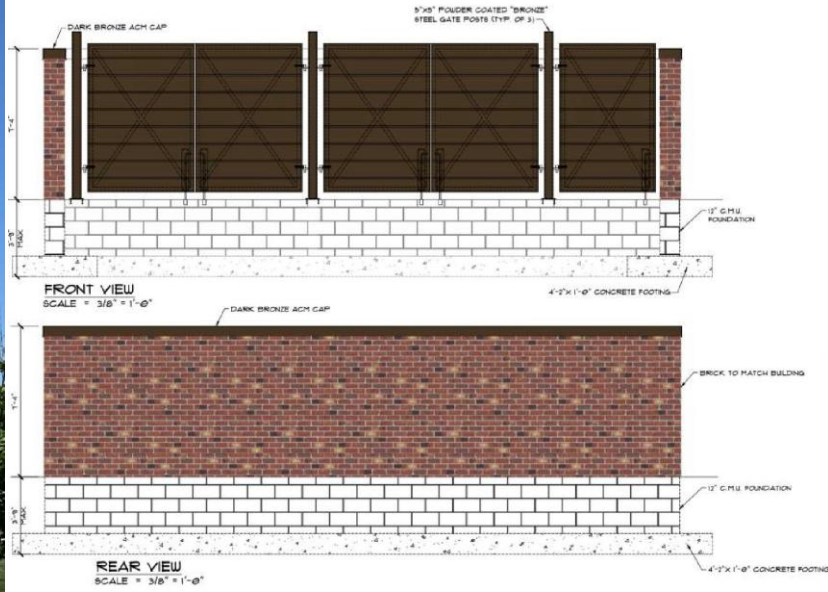
**Bath Township Gas Canopy:**

- \* 14'-0" Brick wrap on columns (Albany by Glen Gery)
- \* Simplistic canopy, removed trusses
- \* 21'-0" height
- \* 15'-0" clearance
- \* Additional 8'-0" clearance between pumps
- \* Reduced Signage
- \* 1 FD light band under canopies



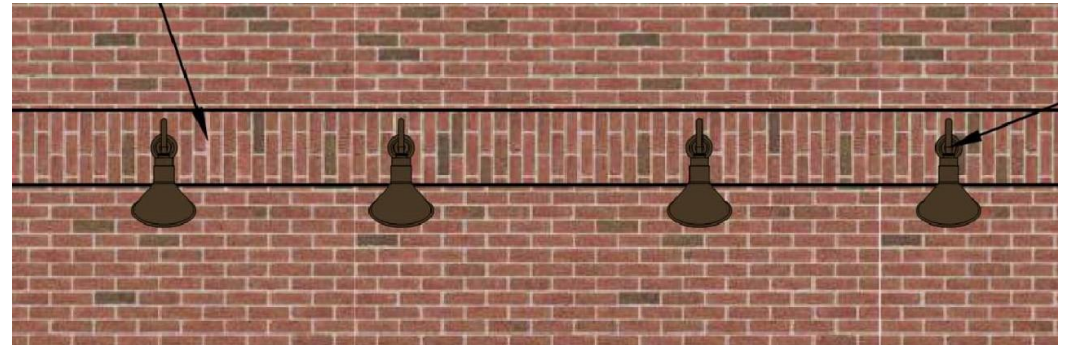
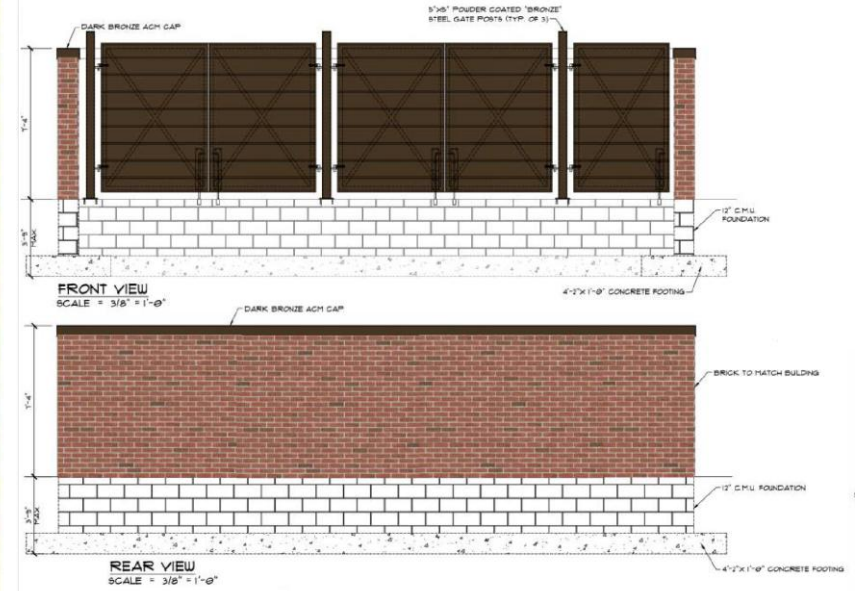
**Sheetz Prototype Site:**

- \* Standard LED Lighting, height set at 23'-0"
- \* Composite Wood Dumpster Enclosure



**Bath Township Site & Lighting:**

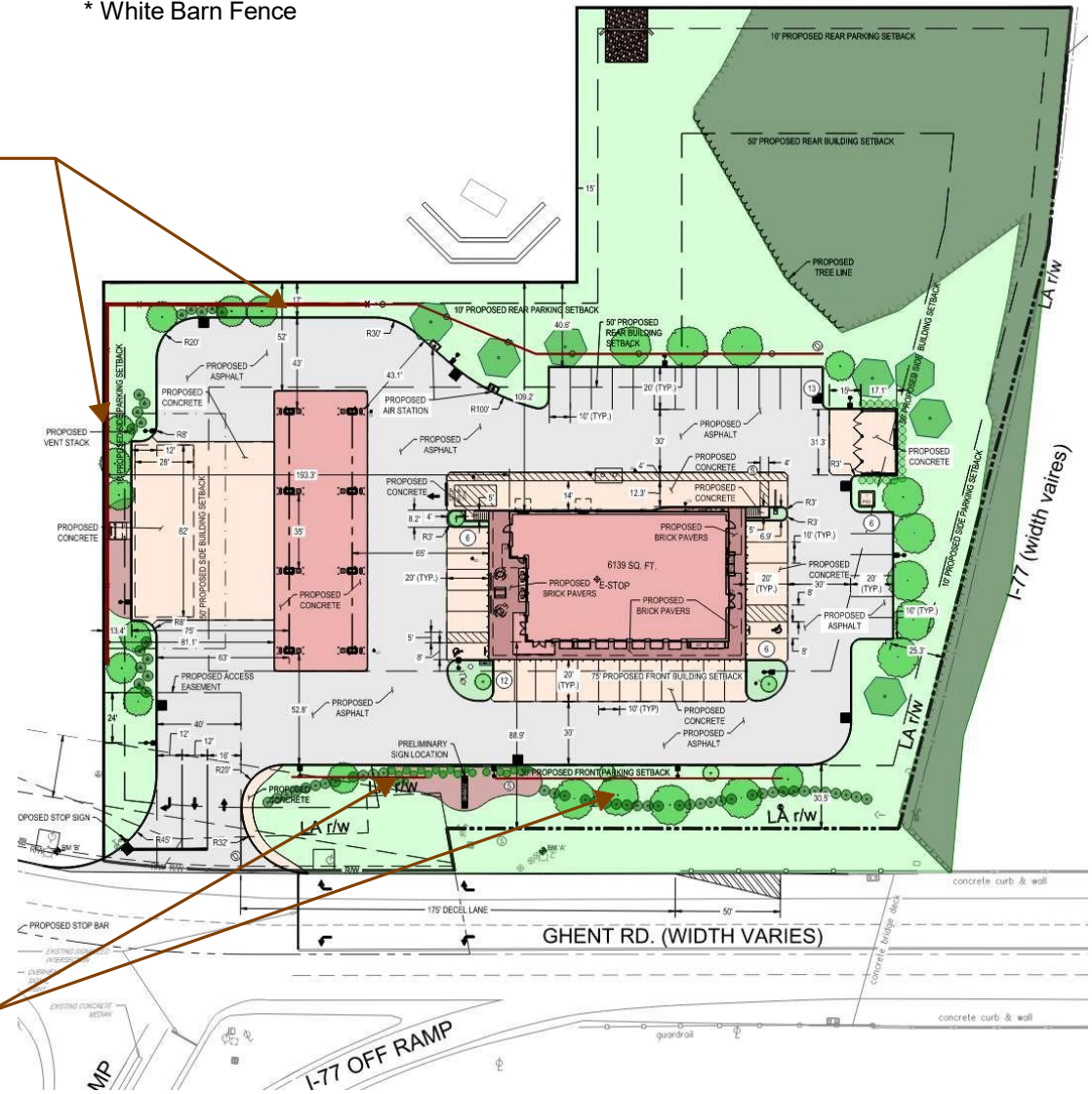
- \* Gooseneck style LED Lighting, height set at 18'-0"
- \* All Brick Dumpster Enclosure to match Albany by Glen Gary





**Bath Township Site :**

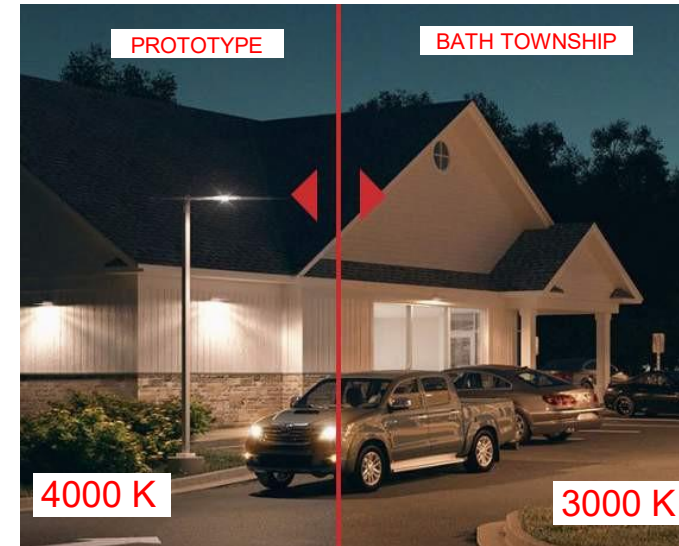
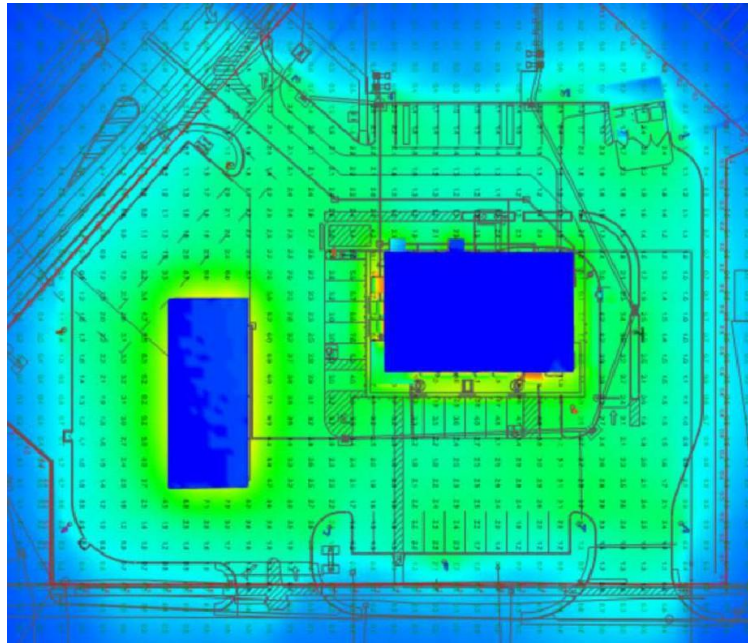
- \* Composite Wood Fence in Cedar Color
- \* White Barn Fence



COMPOSITE WOOD BARN FENCE

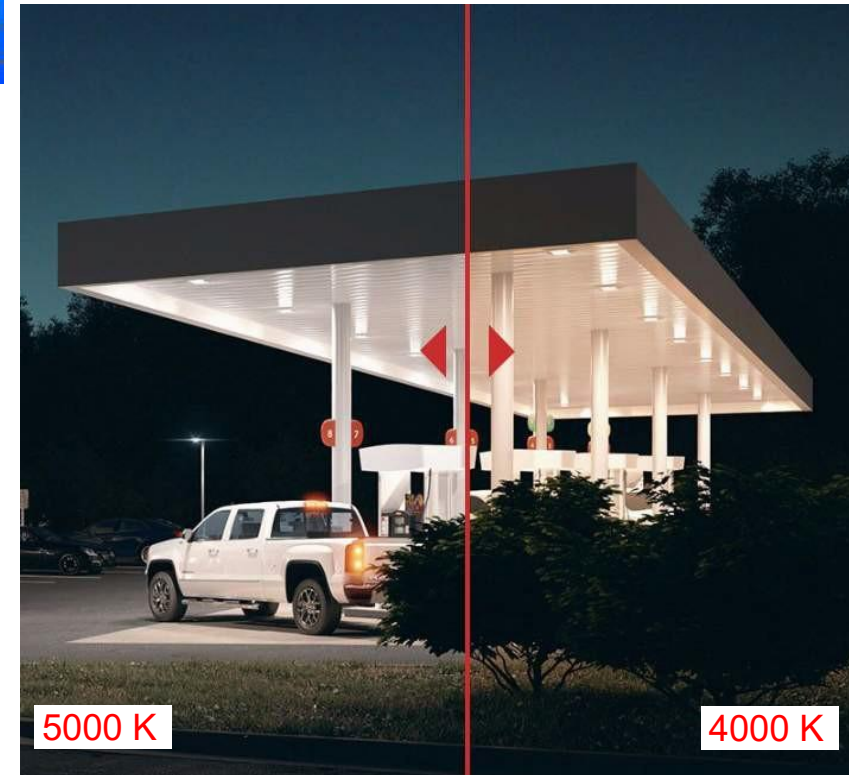
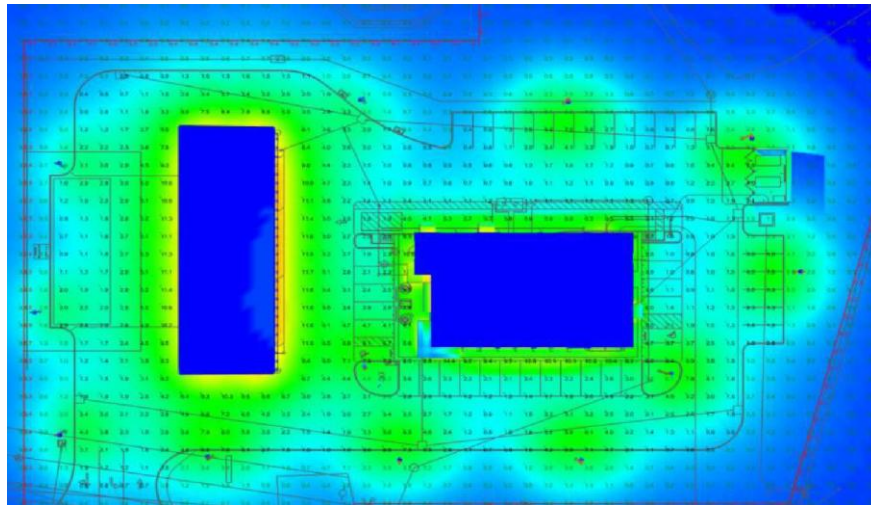
**Sheetz Prototype Lighting:**

- \* Standard building Kelvins of 4,000
- \* Standard gas canopy Kelvins of 5,000
- \* High consistent light levels
- \* LED light band under building and gas canopies



**Bath Township Lighting:**

- \* Kelvins reduced at building to 3,000 Kelvins
- \* Kelvins reduced at gas canopy to 4,000 Kelvins
- \* Reduced light levels
- \* LED light band under building and gas canopies





880 Corporate Exchange Dr., Suite 400  
Akron, OH 44316  
Phone: 314.749.4500 Fax: 314.749.4501

VISCONSI COMPANIES, LTD

C-STORE DEVELOPMENT

981 GHENT ROAD  
AKRON, OH 44333

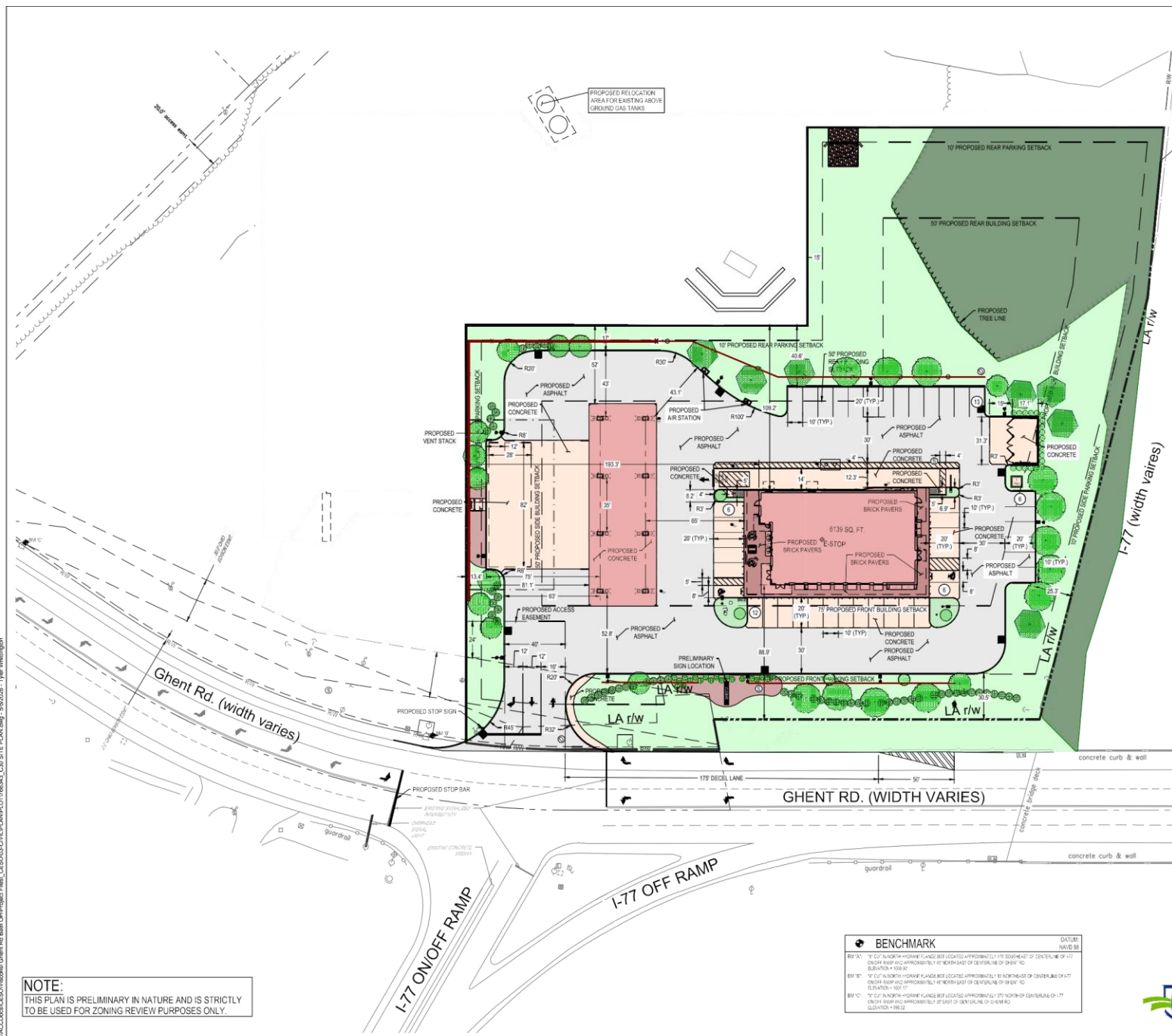
Revisions / Submissions

ID	Description	Date

Project Number: 766343  
 Scale: AS SHOWN  
 Drawn By: MST  
 Checked By: RAP  
 Date: 03.30.2026  
 Issue: PRELIMINARY

Drawing Title: SITE PLAN

C3.0



- EXISTING LEGEND**
- Anchor Pole
  - Guy Wire
  - Catch Basin
  - Curb Inlet
  - Downspout
  - Deciduous Tree
  - Electric Box
  - Electric Meter
  - Fire Hydrant
  - Gas Meter
  - Light Pole
  - Power Telephone Light Pole
  - Power Light Pole
  - Sanitary Manhole
  - Sign
  - Signal Pole
  - Storm Manhole
  - Communications Box
  - Telephone Pole
  - Traffic Box
  - Water Valve
  - Water Shut-off
- UTILITY LEGEND**
- Gas Line
  - Water Line
  - Underground Electric
  - Underground Communications
  - Overhead Utility Line
  - Storm Sewer
  - Sanitary Sewer
  - Centerline Data
  - Tree Line

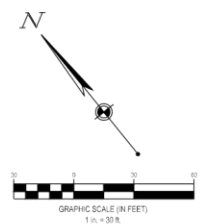
- SITE LEGEND**
- PROPOSED**
- BUILDING
  - CONCRETE CURB
  - EDGE OF PAVEMENT / WALK
  - ASPHALT / CONCRETE TRANSITION
  - PARKING SPACE COUNT
  - SIGN
- UTILITY LEGEND**
- PROPOSED**
- CATCH BASIN
  - STORM SEWER
  - SANITARY SEWER
  - CLEANCUT
  - DOWNSPOUT
  - WATER VALVE

**PARKING COUNT = 43 SPACES**

**GENERAL NOTES:**

- ALL PAVEMENT MARKINGS SHALL BE YELLOW.

**SITE COVERAGE**  
 PROPOSED PERVIOUS = 1.62 ACRES (51%)  
 PROPOSED IMPERVIOUS = 1.60 ACRES (49%)  
 TOTAL AREA = 3.22 ACRES



**BENCHMARK**

DATE: 11/15/25

BM 1A:	1" OF NORTH-HORIZONTAL PLANE BUT LOCATED APPROXIMATELY 175' SOUTHWEST OF CENTERLINE OF I-77. ELEVATION APPROXIMATELY 110' NORTHWEST OF CENTERLINE OF GRAB "D". ELEVATION = 100.01'
BM 1B:	1" OF NORTH-HORIZONTAL PLANE BUT LOCATED APPROXIMATELY 10' NORTHWEST OF CENTERLINE OF I-77 ON CH 1000. ELEVATION APPROXIMATELY 110' NORTHWEST OF CENTERLINE OF GRAB "D". ELEVATION = 100.01'
BM 1C:	1" OF NORTH-HORIZONTAL PLANE BUT LOCATED APPROXIMATELY 875' NORTH OF CENTERLINE OF I-77 ON CH 1000. ELEVATION APPROXIMATELY 110' NORTHWEST OF CENTERLINE OF GRAB "D". ELEVATION = 100.01'

**NOTE:**  
 THIS PLAN IS PRELIMINARY IN NATURE AND IS STRICTLY TO BE USED FOR ZONING REVIEW PURPOSES ONLY.

CHIO811  
 Before You Dig

FORTY EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES AND UTILITIES PROTECTION SERVICE AT 811 OR 800-362-2704 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVED THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE.

C:\BAC\AC\CESO\Visconsi\Ghent Rd. Bank Off\Project\Final\_CESO\03-DWG\PL\AMPL\LOT7166343\_C30 SITE PLAN.dwg - 05/02/26 - Type: Worksheet

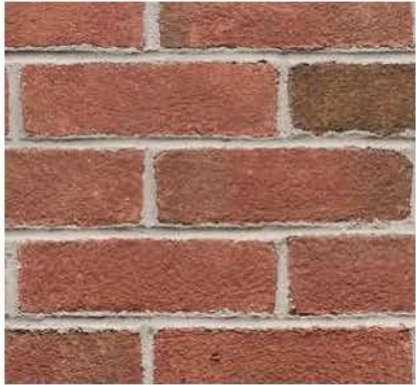








## MATERIALS FOR BATH TOWNSHIP



ALBANY BY GLEN-GERY BRICK



GREY ASH BY GLEN GERY BRICK



VINYL BARN FENCE



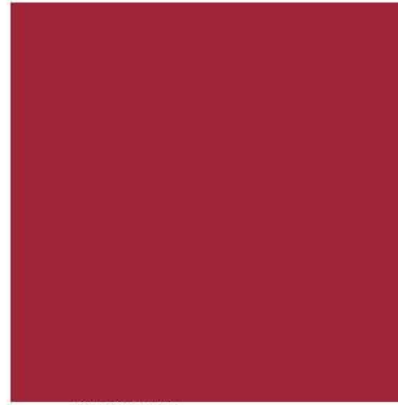
4' & 6' VINYL FENCE  
CATALST, BRECKENRIDE, RED CEDAR



RED ACM



DARK BRONZE METAL



RED METAL



GOOSENECK LIGHT FIXTURES





**VISCONSI COMPANIES, LTD**

**C-STORE DEVELOPMENT**

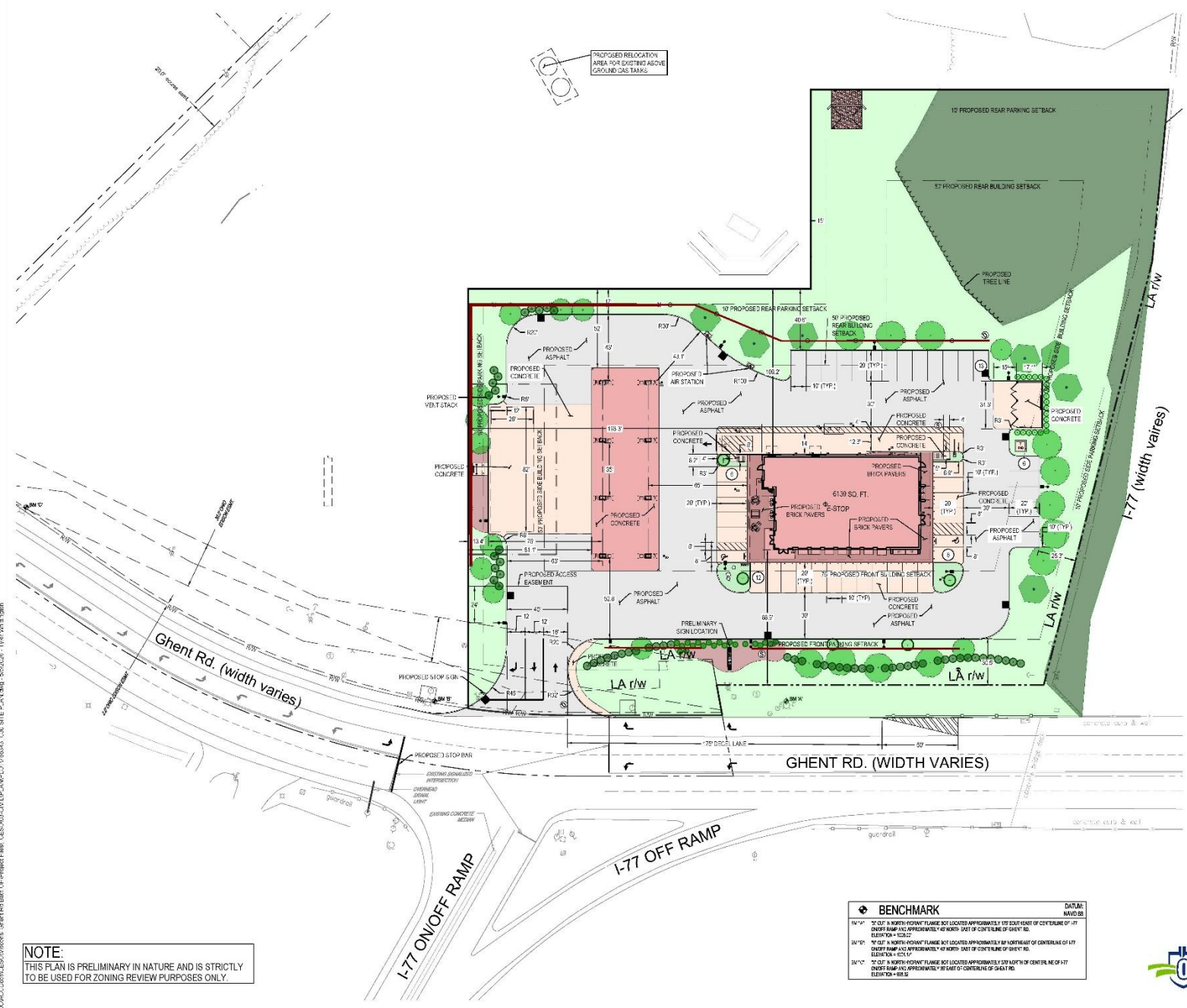
981 GHENT ROAD  
AKRON, OH 44333

Revisions / Submissions	
ID	Description

Project Number: 766343  
 Scale: AS SHOWN  
 Drawn By: MST  
 Checked By: RAP  
 Date: 03.30.2026  
 Issue: PRELIMINARY

Drawing Title: **SITE PLAN**

**C3.0**



- EXISTING LEGEND**
- Anchor Pole
  - Bay Wire
  - Catch Basin
  - Curb Inlet
  - Downspout
  - Deciduous Tree
  - Electric Box
  - Electric Meter
  - Fire Hydrant
  - Gas Meter
  - Light Pole
  - Power Telephone Light Pole
  - Power Light Pole
  - Sanitary Manhole
  - Sign
  - Signal Pole
  - Storm Manhole
  - Communication Box
  - Telephone Pole
  - Traffic Box
  - Water Valve
  - Water Shut-off
- UTILITY LEGEND**
- Gas Line
  - Water Line
  - Underground Electric
  - Underground Communication
  - Overhead Utility Line
  - Storm Sewer
  - Sanitary Sewer
  - Carbamide Ditch
  - Tree Line

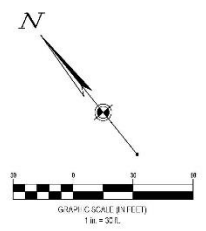
- SITE LEGEND**
- PROPOSED**
- BUILDING
  - CONCRETE CURB
  - EDGE OF PAVEMENT / WALK
  - ASPHALT / CONCRETE TRANSITION
  - PARKING SPACE COUNT
  - SIGN
- UTILITY LEGEND**
- PROPOSED**
- CATCH BASIN
  - STORM SEWER
  - SANITARY SEWER
  - CLEANSIT
  - DOWNSPOUT
  - WATER VALVE

PARKING COUNT = 43 SPACES

**GENERAL NOTES:**

1. ALL PAVEMENT MARKINGS SHALL BE YELLOW.

**SITE COVERAGE**  
 PROPOSED PERVIOUS = 1.62 ACRES (51%)  
 PROPOSED IMPERVIOUS = 1.60 ACRES (49%)  
 TOTAL AREA = 3.22 ACRES



**BENCHMARK**

DATE	NAVD 83
10/14/14	100.00
10/14/14	100.00
10/14/14	100.00
10/14/14	100.00
10/14/14	100.00
10/14/14	100.00

**NOTE:**  
 THIS PLAN IS PRELIMINARY IN NATURE AND IS STRICTLY TO BE USED FOR ZONING REVIEW PURPOSES ONLY.



FOURTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE. THE CONTRACTORS SHALL NOTIFY THE UTILITIES SERVICES AND UTILITIES PROTECTION SERVICE AT 811 OR 800-850-7874 AND ALL OTHER AGENCIES WITH ENOUGH LEAD UNDERGROUND UTILITIES INVOLVING THE PROJECT ARE MEMBERS OF STATE UTILITIES PROTECTION SERVICE.

C:\DACA\Drawings\CESO\Visconsi - Ghent Rd - 01-Project Plan - C3.0 SITE PLAN.dwg - 8/5/2026 - Type: Visconsi.dwg











Shent Hill Veterinary Clinic

Euseo Desjardins

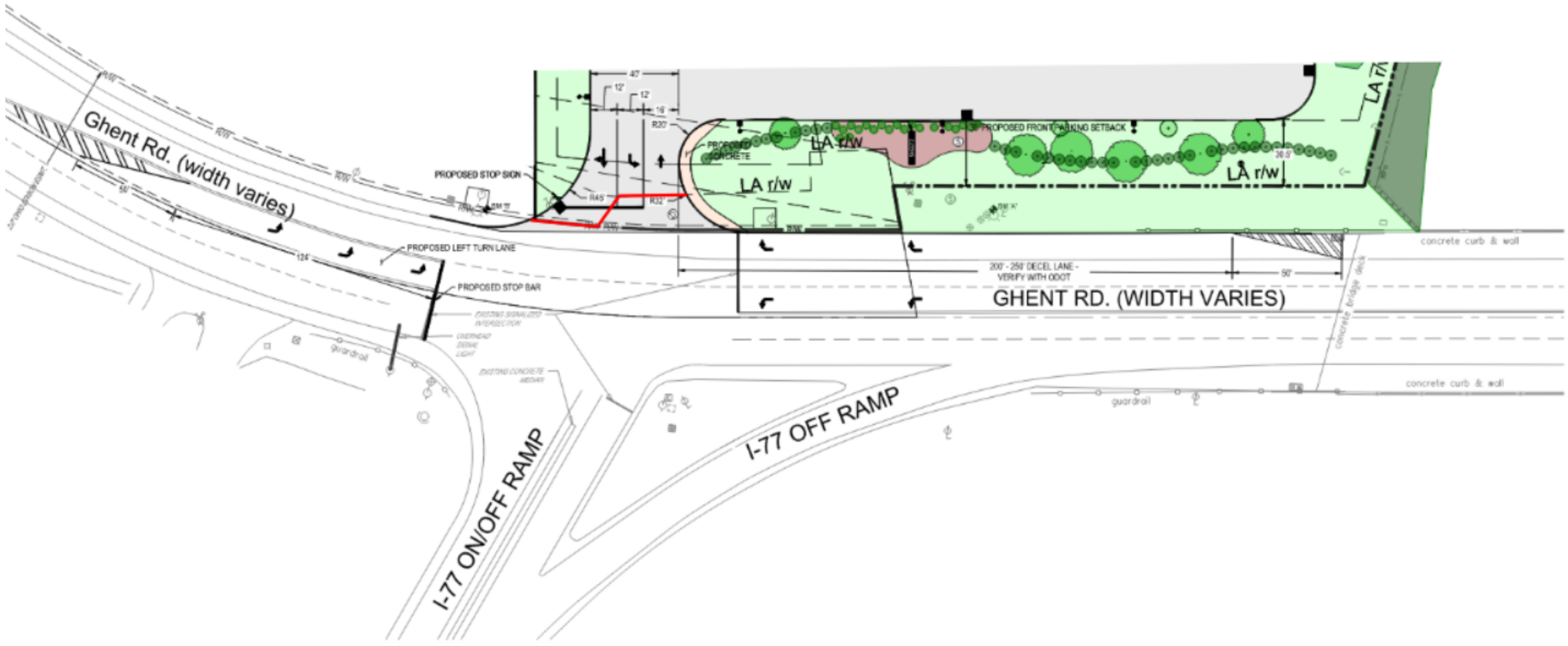
Veccaro's Trattoria

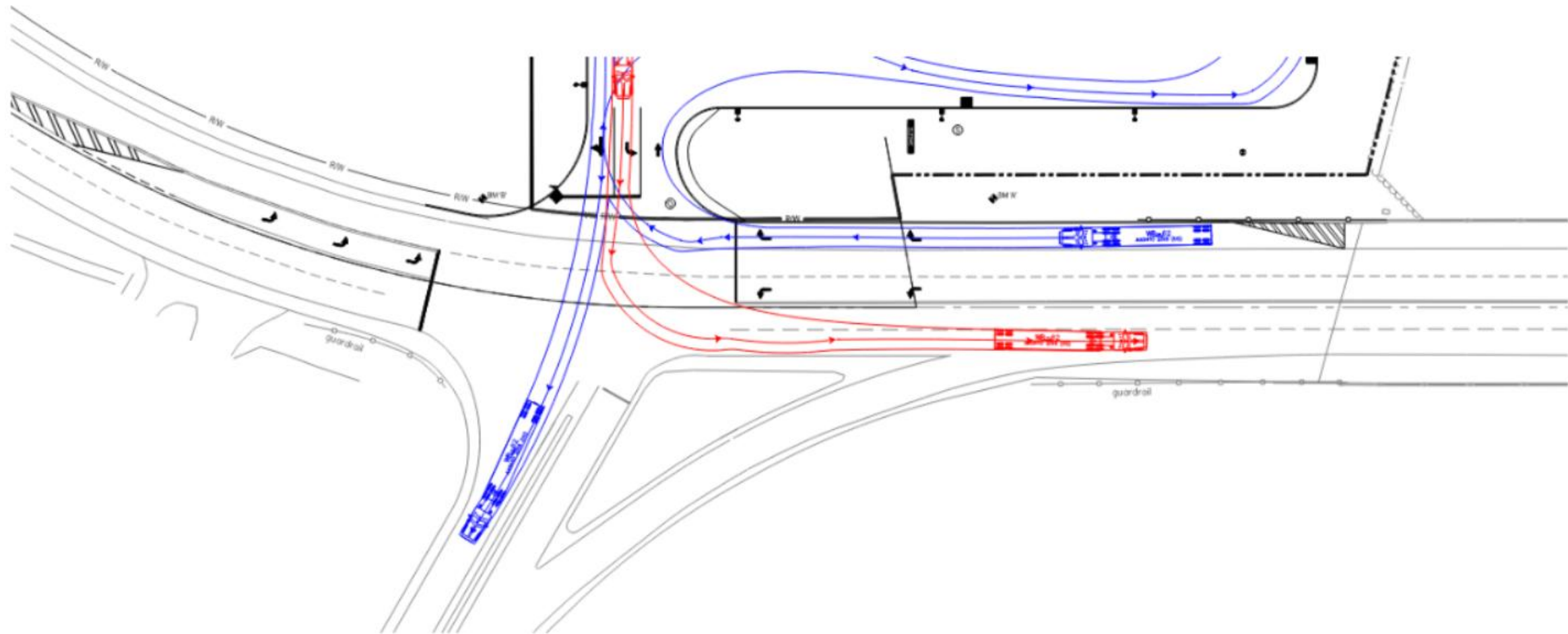
Morrisse Zion United Methodist Church

CrossFit Intent



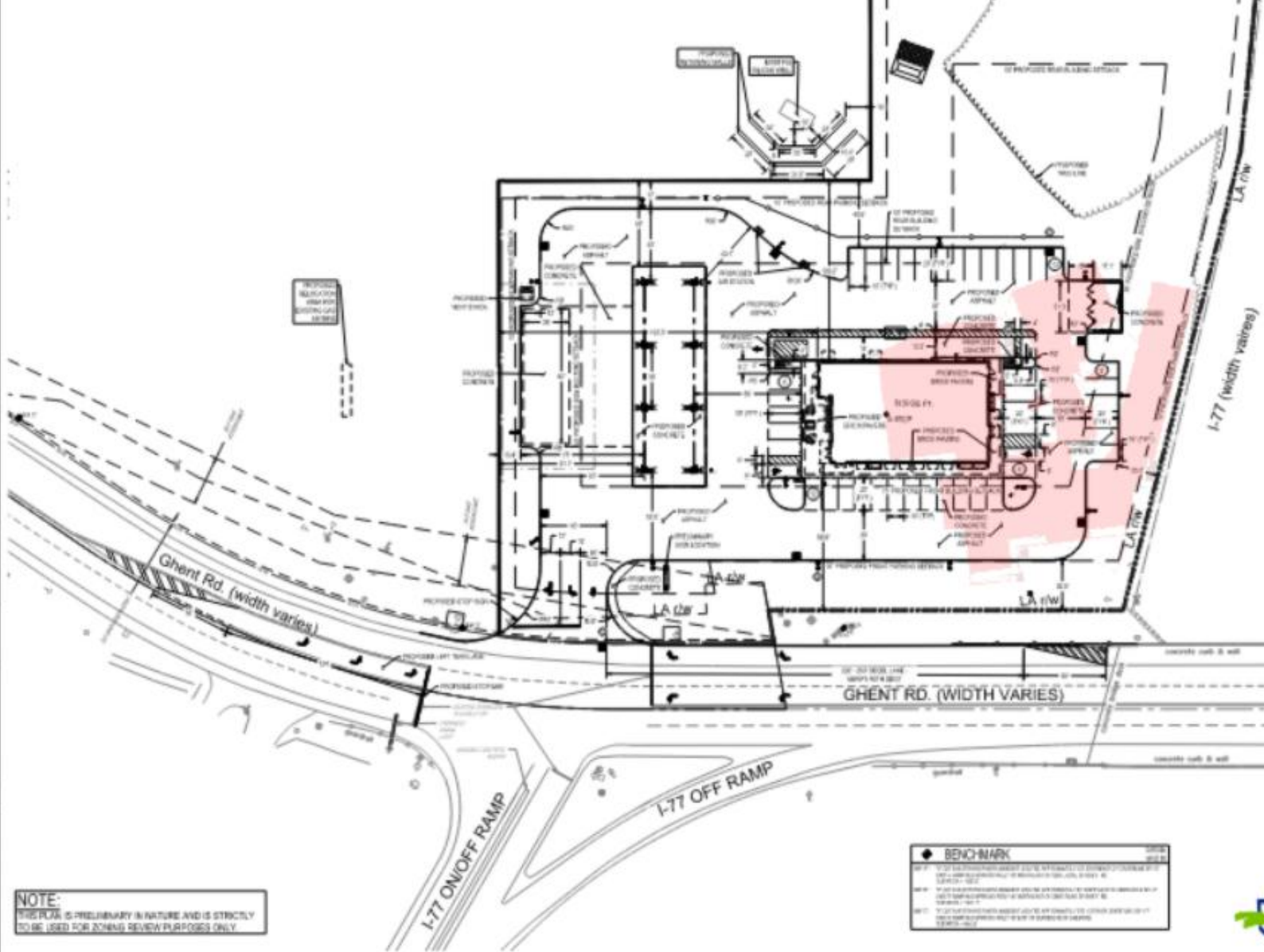








BUILDING SQUARE FOOTAGE	
EXISTING DIMITROFF'S FURNITURE & DESIGN	17,401 SF
PROPOSED SHEETZ	6,139 SF



**EASTING LEGEND**

	Proposed Building Footprint
	Existing Building Footprint
	Proposed Parking
	Existing Parking
	Proposed Driveway
	Existing Driveway
	Proposed Sidewalk
	Existing Sidewalk
	Proposed Street
	Existing Street
	Proposed Utility
	Existing Utility
	Proposed Easement
	Existing Easement
	Proposed Right-of-Way
	Existing Right-of-Way

**SITE LEGEND**

**PROPOSED**

	CONCRETE
	ASPHALT
	UTILITY

**UTILITY LEGEND**

**EXISTING**

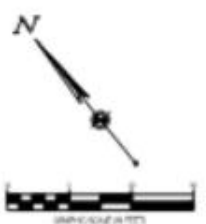
	STORM SEWER
	SANITARY SEWER
	WATER MAIN

**GENERAL NOTES**

- ALL PROPOSED WORK SHALL BE PERFORMED AS SHOWN.

**SITE COVERAGE**

PROPOSED IMPROVEMENTS	= 1.22 ACRES (51%)
PROPOSED IMPROVEMENTS	= 1.68 ACRES (69%)
<b>TOTAL AREA</b>	<b>= 2.90 ACRES</b>



**BENCHMARK**

Point	Coordinates
BENCH 1	1000000.000, 1000000.000
BENCH 2	1000000.000, 1000000.000
BENCH 3	1000000.000, 1000000.000

**NOTE:**  
THIS PLAN IS PRELIMINARY IN NATURE AND IS STRICTLY TO BE USED FOR ZONING REVIEW PURPOSES ONLY.



**VISCONSI COMPANIES, LTD**  
**C-STORE DEVELOPMENT**  
 815 COURTESY ROAD  
 WRESTON, VA 22091

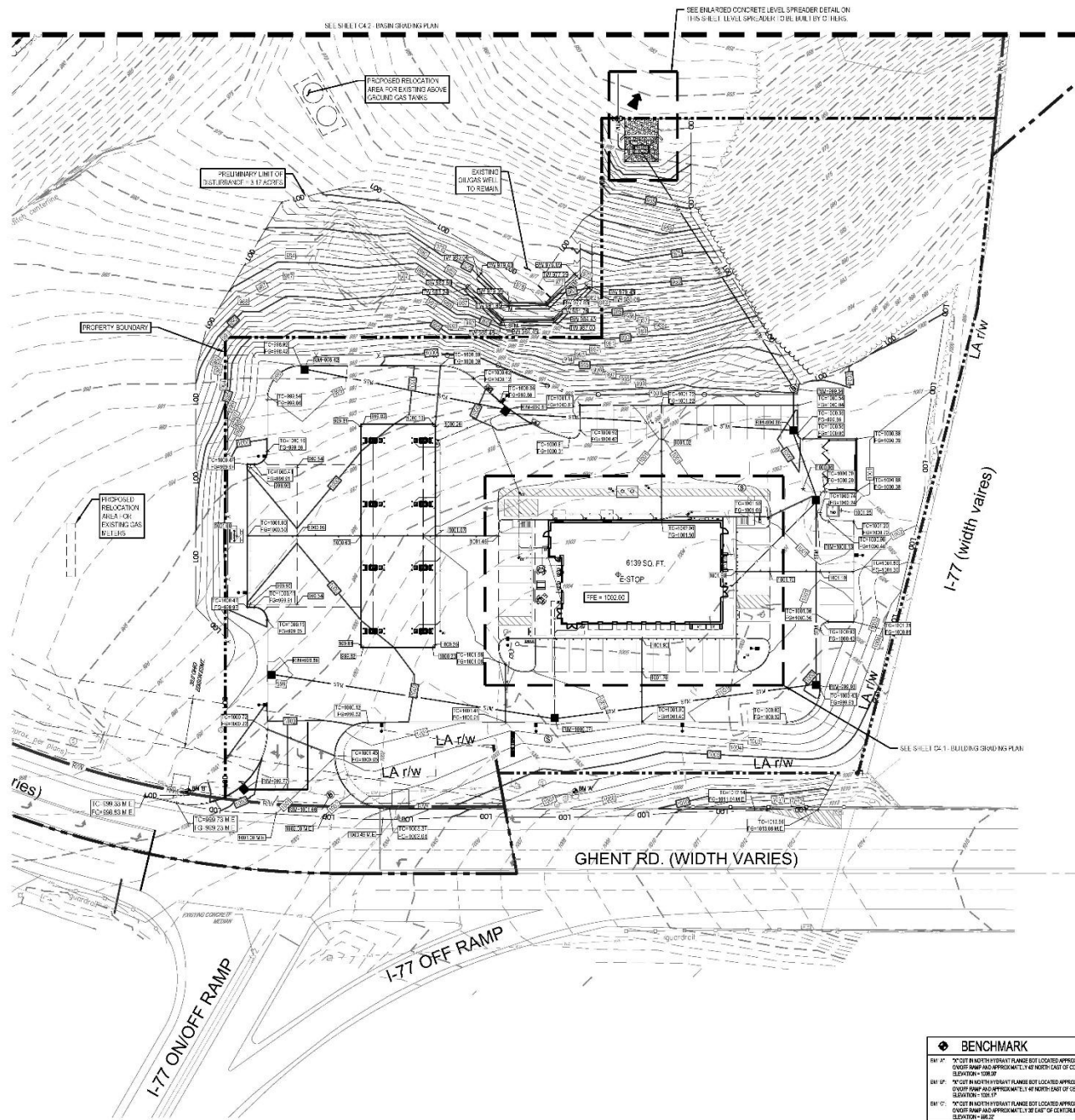
**Project Number** 17401  
**Scale** AS SHOWN  
**Drawn By** JSP  
**Checked By** JSP  
**Date** 03-28-2024  
**Drawn** JSP

**Drawing Title**  
**SITE PLAN**

**C3.0**

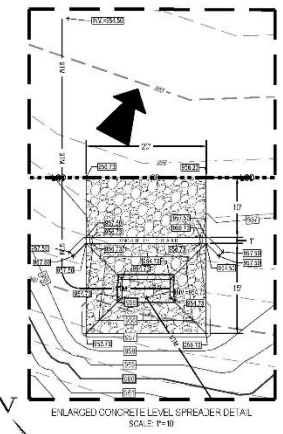


C:\02ACC\Drawings\CESO\Visconsi - Ghent Rd.Bldg. 01-Project\Final\_CES0200-CONUP-ANPLD778543\_C4.0 GRADING PLAN.dwg: 4/10/2024 - Mohan Tharun



**GRADING LEGEND**

EXISTING	
---	MAJOR CONTOUR
---	MINOR CONTOUR
REFER TO C&S FOR EXISTING FEATURES LEGEND	
PROPOSED	
---	BUILDING
---	PAVEMENT TRANSITION
---	MAJOR CONTOUR
---	MINOR CONTOUR
---	GRADE BREAK
---	SWALE LINE
①	STORM STRUCTURE ID
○	CURB INLET
□	CATCH BASIN
⊖	STORM SEWER MANHOLE
○	CLEARWAY
○	1' DRAINELL
○	DOWNSPOUT
XXX.XX	FINISHED GRADE ELEVATION
---	IRM ELEVATION
TOPXXX.XX FC:XXX.XX	TOP OF CURB ELEVATION FINISHED GRADE ELEVATION
BC	BACK OF CURB ELEVATION
M.E.	MATCH EXISTING ELEVATION
TJ	TOP OF ISLAND ELEVATION
TW	TOP OF WALL ELEVATION
BW	BOTTOM OF WALL ELEVATION
X.XX	SI OF ARROW
→	FLOOD ROUTE



**BENCHMARK**

MARK	DATE	NAVD 88
BM 1	10/17/17	100.00
BM 2	10/17/17	100.00
BM 3	10/17/17	100.00

**NOTE:**  
THIS PLAN IS PRELIMINARY IN NATURE AND IS STRICTLY TO BE USED FOR ZONING REVIEW PURPOSES ONLY.

**OHIO811.org**  
Before You Dig

10:15 AM (148) HOURS BEFORE DIGGING IS TO COMMENCE. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO UTILITIES PROTECTION SERVICE (1-811 OR 800-362-2709) AND ALL OTHER AGENCIES WHICH MIGHT HAVE JURISDICTION OVER THE PROJECT. INVOLVING THIS PROJECT AND USE MOVEMENT OF STATE UTILITIES PROTECTION SERVICE.



**VISCONSI COMPANIES, LTD**

**C-STORE DEVELOPMENT**

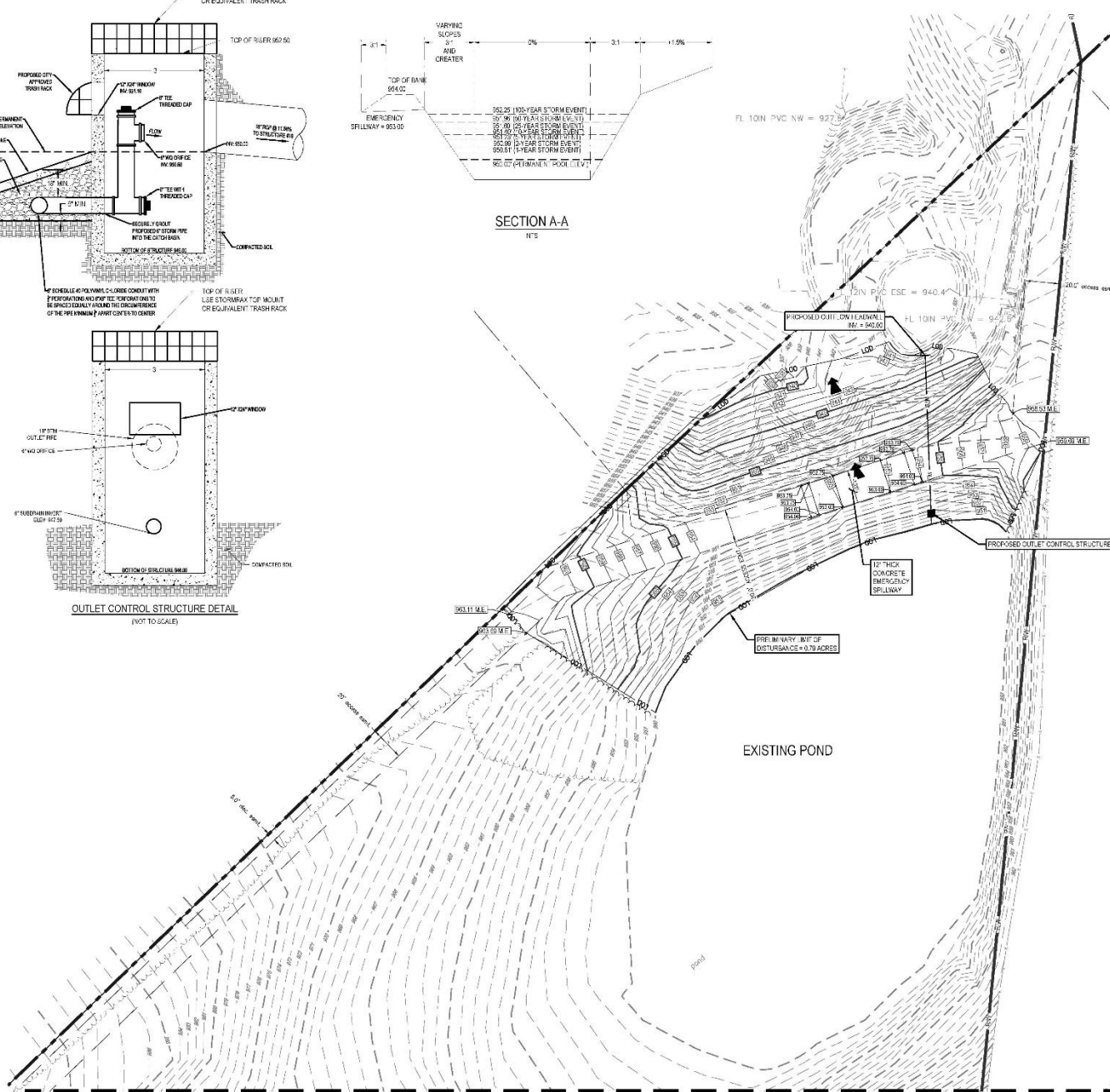
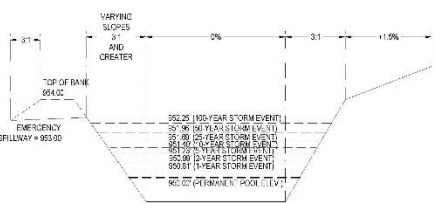
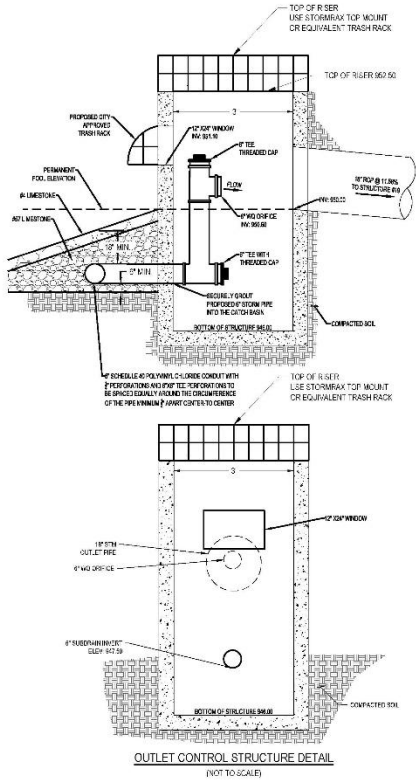
981 GHENT ROAD  
AKRON, OH 44333

Revisions / Submissions		
ID	Description	Date

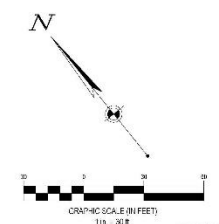
Project Number: 766343  
 Scale: AS SHOWN  
 Drawn By: MST  
 Checked By: RAP  
 Date: 03.30.2026  
 Issue: PRELIMINARY

Drawing Title:  
**GRADING PLAN**

**C4.0**



- GRADING LEGEND**
- EXISTING**
- MAJOR CONTOUR
  - - - MINOR CONTOUR
  - REFER TO C&S FOR EXISTING FEATURES LEGEND
- PROPOSED**
- PAVEMENT TRANSITION
  - MAJOR CONTOUR
  - - - MINOR CONTOUR
  - GRADE BREAK
  - STORM STRUCTURE I.D.
  - CATCH BASIN
  - SADDLE
  - FINISHED GRADE ELEVATION
  - RIM ELEVATION
  - FLOOD ROUTE



10:15 AM (1:48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO UTILITIES PROTECTION SERVICE (1-811 OR 800-325-2794) AND ALL OTHER AGENCIES WHICH MIGHT HAVE JURISDICTION OVER THE PROJECT INVOLVING THIS PROJECT AND USE AVOIDANCE/STAY-AWAY UTILITIES PROTECTION SERVICE.

**NOTE:**  
THIS PLAN IS PRELIMINARY IN NATURE AND IS STRICTLY TO BE USED FOR ZONING REVIEW PURPOSES ONLY.



**VISCONSI COMPANIES, LTD**

**C-STORE DEVELOPMENT**

981 GHENT ROAD  
AKRON, OH 44333

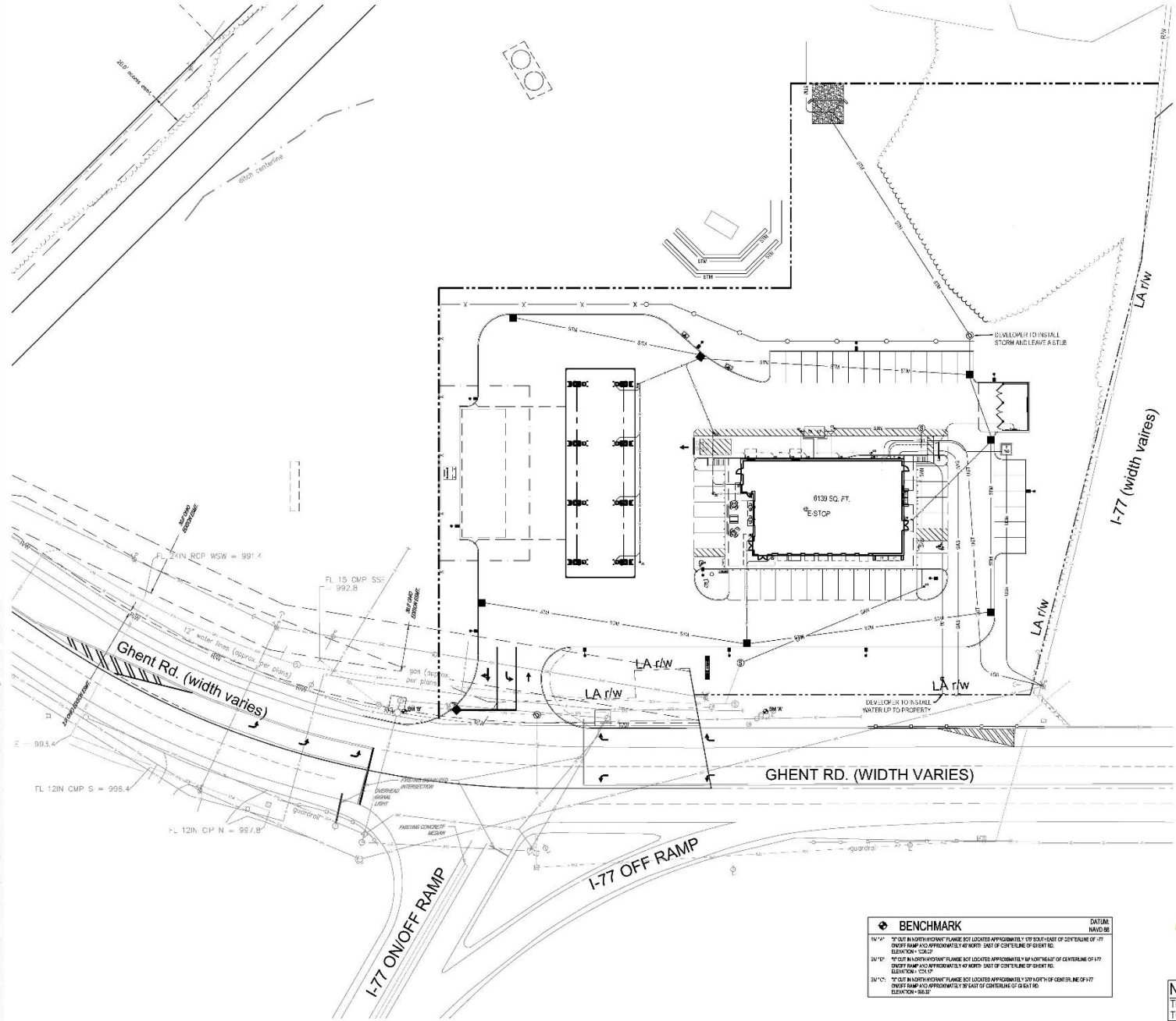
Revisions / Submissions	
ID	Description

Project Number: 766343  
 Scale: AS SHOWN  
 Drawn By: MST  
 Checked By: RAP  
 Date: 03.30.2026  
 Issue: PRELIMINARY

Drawing Title:  
**BASIN GRADING PLAN**

**C4.2**

C:\DOCS\Drawings\CESO\Visconsi\981 Ghent Rd\Bldg. 01\Project\Final\_CESO\DWG\CONTR\ANPL\0778543\_C&S\GRADING PLAN.dwg: 4/10/2024 - Mohan Talarao



- SITE LEGEND**
- EXISTING**  
REFER TO CS 0 FOR EXISTING FEATURES LEGEND
- PROPOSED**
- BUILDING
  - CONCRETE CURB
  - EDGE OF PAVEMENT/WALK
  - PARKING SPACE COUNT
  - SIGN
- UTILITY LEGEND**
- EXISTING**  
REFER TO CS 0 FOR EXISTING FEATURES LEGEND
- PROPOSED**
- DITCH/PASIN
  - ⊙ STORM SEWER
  - ⊙ SANITARY SEWER
  - E/AN/OUT
  - DOWNGROUT
  - WATER VALVE



**VISCONSI COMPANIES, LTD**

**C-STORE DEVELOPMENT**  
981 GHEENT ROAD  
AKRON, OH 44333

Revisions / Submissions

ID	Description	Date

Project Number: 766343  
 Scale: AS SHOWN  
 Drawn By: MST  
 Checked By: RAP  
 Date: 03.30.2026  
 Issue: PRELIMINARY

Drawing Title:  
**UTILITY PLAN**

**C5.0**

BENCHMARK	DATUM
BM 14: "O" OUT IN NORTH HOVWAY FLANK BOI LOCATED APPROXIMATELY 100' SOUTH OF CENTERLINE OF I-77 ONOFF RAMP AND APPROXIMATELY 40' WEST OF CENTERLINE OF GHENT RD. ELEVATION = 1024.0'	NAVD 83
BM 15: "O" OUT IN NORTH HOVWAY FLANK BOI LOCATED APPROXIMATELY 100' NORTH OF CENTERLINE OF I-77 ONOFF RAMP AND APPROXIMATELY 40' WEST OF CENTERLINE OF GHENT RD. ELEVATION = 1024.0'	NAVD 83
BM 16: "O" OUT IN NORTH HOVWAY FLANK BOI LOCATED APPROXIMATELY 100' NORTH OF CENTERLINE OF I-77 ONOFF RAMP AND APPROXIMATELY 100' WEST OF CENTERLINE OF GHENT RD. ELEVATION = 1024.0'	NAVD 83
BM 17: "O" OUT IN NORTH HOVWAY FLANK BOI LOCATED APPROXIMATELY 100' NORTH OF CENTERLINE OF I-77 ONOFF RAMP AND APPROXIMATELY 100' WEST OF CENTERLINE OF GHENT RD. ELEVATION = 1024.0'	NAVD 83

**OHIO811.org**  
Before You Dig

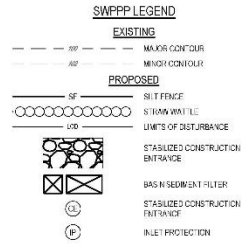
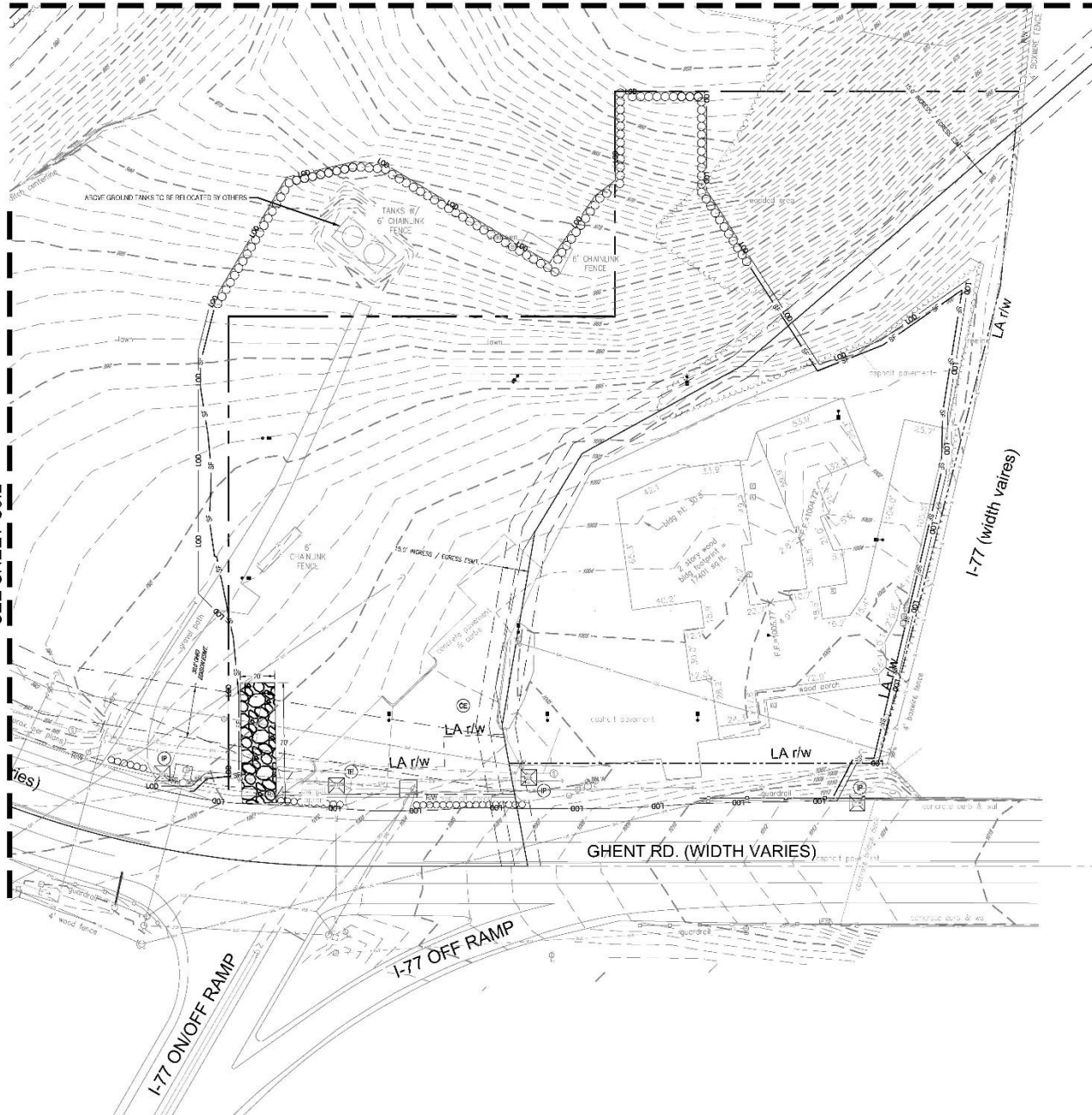
10:00 PM (148) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO UTILITIES PROTECTION SERVICE (1-811 OR 800-362-2799) AND ALL OTHER AGENCIES WHICH MIGHT HAVE JURISDICTION OVER THE PROJECT INVOLVING THIS PROJECT AND USE ANY MAPPING/STREET UTILITIES PROTECTION SERVICE.

**NOTE:**  
THIS PLAN IS PRELIMINARY IN NATURE AND IS STRICTLY TO BE USED FOR ZONING REVIEW PURPOSES ONLY.

C:\DOAC\Drawings\CES0\Visconsi\_C-Store\_Development.dwg, CES0\DOAC\Drawings\CES0\Visconsi\_C-Store\_Development.dwg, 4/10/2026 - M. Shawl, J. J. ...

SEE SHEET C9.1

SEE SHEET C9.2



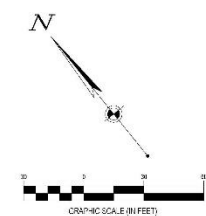
**DEVELOPER:**  
 VISCONSIL COMPANIES, LTD.  
 30000 CHAGRIN BLVD, STE 300  
 WILSON, OH 44149  
 PHONE: (937) 304-7287  
 CONTACT: PAUL WILSON  
 EMAIL: PAUL.WILSON@VISCONSIL.COM

**ENGINEER:**  
 CESO, INC.  
 4440 LAKELAND DR. S.E. 275  
 CINCINNATI, OH 45244  
 PHONE: (513) 945-2219  
 CONTACT: PAUL WILSON  
 EMAIL: PAUL.WILSON@CESOINC.COM

**SEQUENCE OF CONSTRUCTION (PHASE I)**

UNLESS NOTED OTHERWISE, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL EROSION AND SEDIMENT CONTROL MEASURES IN STRICT ACCORDANCE WITH THE SWPPP THROUGHOUT THE DURATION OF THE PROJECT.

1. BEFORE NOTICE OF WORK IS GIVEN, THE CONTRACTOR SHALL KEEP A COPY OF THE PERMIT ON-SITE, NOTIFY ALL APPROPRIATE PARTIES, AND OBTAIN THE NEIGHBORHOOD POWER OFFICE WORKS TO BEGIN.
2. INSTALL TEMPORARY EROSION CONTROL MEASURES INCLUDING CONSTRUCTION ENTRANCE, FILTER SOCKS, SILT FENCE, SEDIMENT TRAPS, ETC. AS DEPICTED IN THIS PLAN.
3. INSPECTION OF EROSION CONTROL MEASURES AS OUTLINED IN NOTES, REPAIRS AND/OR REPLENISHMENTS SHALL BE MADE NECESSARY.
4. BEGIN SITE DEMOLITION / DIRT WORK.
5. BEGIN ROUGH GRADING. PROVIDE TEMPORARY SEEDINGS OF DISTURBED AREAS WHICH ARE INACTIVE.
6. INSTALL PERMANENT EAS CONTROLS.
7. STORM SEWER AND UNDERGROUND UTILITY CONSTRUCTION.
8. FINAL PAD-READY GRADING AND SITE UTILITIES.



**OHIO811.org**  
 Before You Dig

FOURTY EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO UTILITIES PROTECTION SERVICE AT 811 OR 800.867.9768 AND ALL OTHER AGENCIES WHICH MIGHT HAVE JURISDICTION OVER UTILITIES INVOLVED THIS PROJECT AND ARE INFORMED OF: OHIO UTILITIES PROTECTION SERVICE.

**NOTE:**  
 THIS PLAN IS PRELIMINARY IN NATURE AND IS STRICTLY TO BE USED FOR ZONING REVIEW PURPOSES ONLY.



**VISCONSIL COMPANIES, LTD**

**C-STORE DEVELOPMENT**

881 GHEENT ROAD  
 AKRON, OH 44333

Revisions / Submissions

ID	Description	Date

Project Number: 766343  
 Scale: AS SHOWN  
 Drawn By: MST  
 Checked By: RAP  
 Date: 03.30.2020  
 Issue: PRELIMINARY

Drawing Title:  
**SWPPP PHASE 1**

**C9.0**

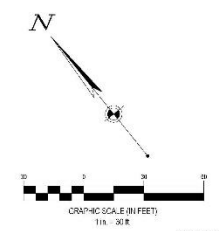
C:\DACC\Draws\CESO\Visconsil\Ghent Rd\Bldg\_01\Project File\_CES000-COULP-ANPL\07180413\_C06\_SWPPP.dwg 4/10/2020 - M.draft Tabrizi

C:\DACC\Draws\CESO\Draws - Sheet\R1\Bldg\_01\Project\Final\_CESO\DWG-COLUP-ANPL\DWG778543\_C06\_SWPPP.dwg 4/10/2025 - Michael Tabacco



**SWPPP LEGEND**

<b>EXISTING</b>	
---	MAJOR CONTOUR
---	MINOR CONTOUR
<b>PROPOSED</b>	
○	SILT FENCE
○	STREAM WATER LINE
---	LIMITS OF DISTURBANCE



FOETY EIGHT (48) HOURS BEFORE DRIVING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO UTILITIES PROTECTION SERVICE AT 811 OR 800-887-9766 AND ALL OTHER AGENCIES WHICH MIGHT HAVE JURISDICTION OVER THIS PROJECT AND ARE INFORMED (USING STATE UTILITIES PROTECTION SERVICE

**NOTE:**  
THIS PLAN IS PRELIMINARY IN NATURE AND IS STRICTLY TO BE USED FOR ZONING REVIEW PURPOSES ONLY.

SEE SHEET C9.0



**VISCONSI COMPANIES, LTD**  
**C-STORE DEVELOPMENT**  
981 GHENT ROAD  
AKRON, OH 44333

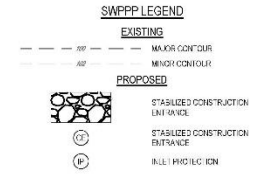
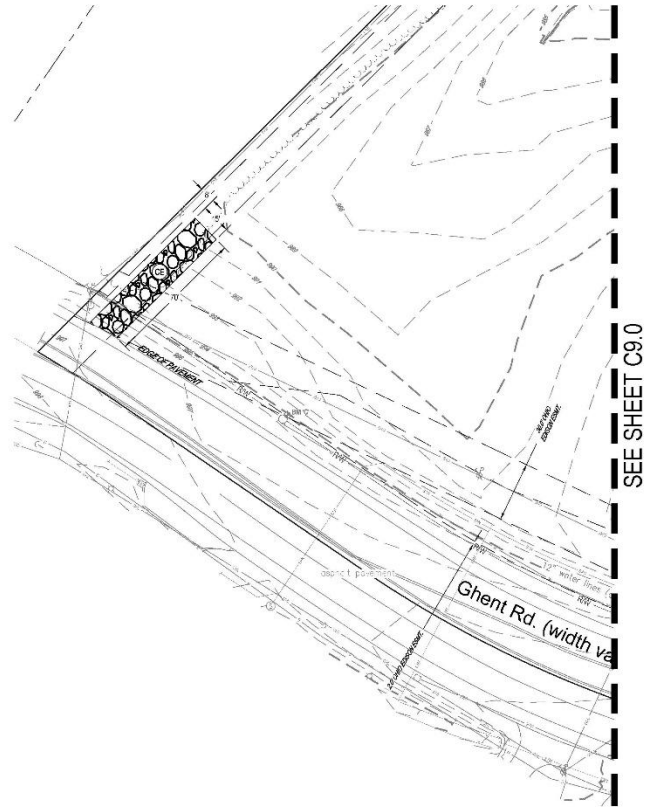
Revisions / Submissions		
ID	Description	Date

Project Number: 766343  
Scale: AS SHOWN  
Drawn By: MST  
Checked By: RAP  
Date: 03.30.2025  
Issue: PRELIMINARY

Drawing Title:  
**BASIN SWPPP PHASE I**  
  
**C9.1**

C:\D:\AC\Drawings\CESO\Visions - Ghent Rd\Bldg. 01\Project Files\_CESO\DWG\DWG\SWPPP\DWG\_4102203 - M.draft Tabulo

**NOTE:**  
THIS PLAN IS PRELIMINARY IN NATURE AND IS STRICTLY TO BE USED FOR ZONING REVIEW PURPOSES ONLY.



**VISCONSI COMPANIES, LTD**

**C-STORE DEVELOPMENT**

981 GHEENT ROAD  
AKRON, OH 44333

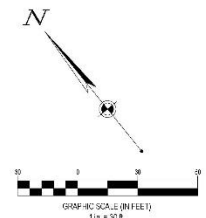
Revisions / Submissions

ID	Description	Date

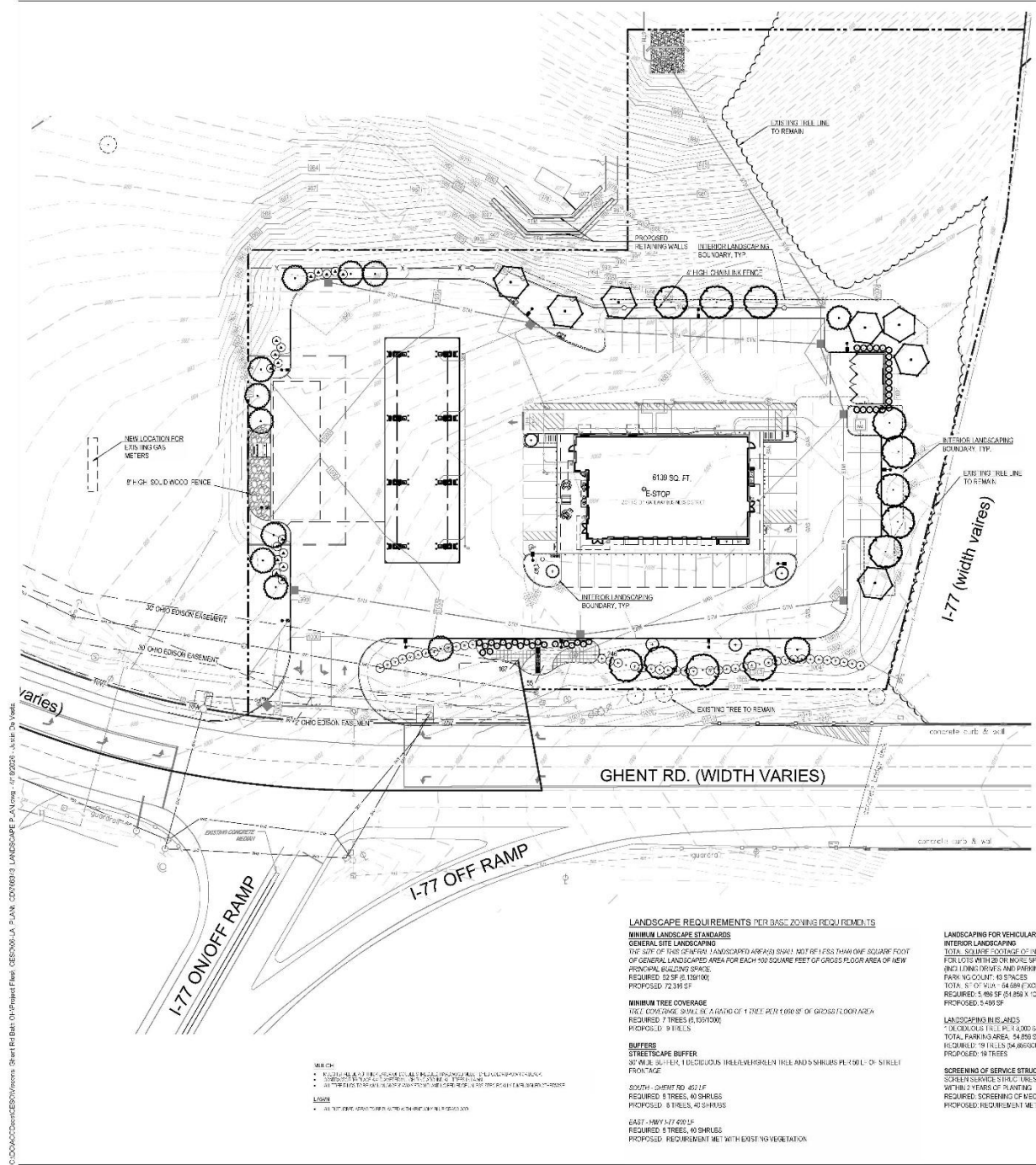
Project Number: 766343  
 Scale: AS SHOWN  
 Drawn By: MST  
 Checked By: RAP  
 Date: 03.30.2026  
 Issue: PRELIMINARY

Drawing Title:  
**SWPPP PHASE I - BASIN ACCESS**

**C9.2**



FORTY-EIGHT (48) HOURS BEFORE DIGGING TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES AND UTILITIES: PROTECTION SERVICE AT 811 OR 800-367-0774 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVED IN THE PROJECT AND ARE MEMBERS OF STATE UTILITIES PROTECTION SERVICE

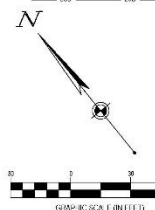
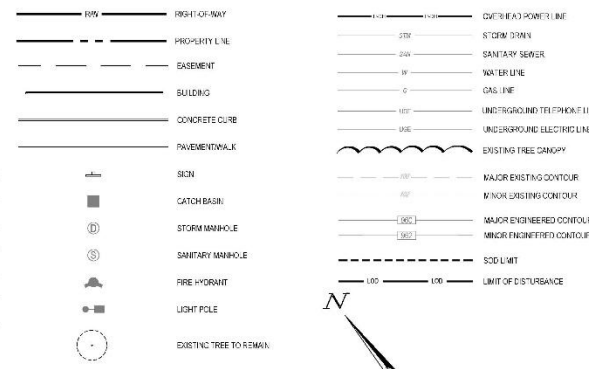


**PLANT SCHEDULE**

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPR	SPACING
<b>TREES</b>					
(Symbol)	2	ACER RUBRUM 'COPPER PRINCE' OCTOBER GLORY RED MAPLE	3" CAL.		AS SHOWN
(Symbol)	7	FRAXINUS FRANKY VANICA GREEN ASH	3" CAL.		AS SHOWN
(Symbol)	10	MAIUS X UPSAWNE ROYAL HANDBOOK CHERRYBELL	3" CAL.		AS SHOWN
(Symbol)	5	MAIUS X LOLLIZUM LOLLIPOP CRANAPPLE	3" CAL.		AS SHOWN
<b>EVERGREEN TREES</b>					
(Symbol)	2	PICEA MARSHII GLAUCA BLUE COLORADO SPRUCE		5' HT	AS SHOWN
(Symbol)	20	THUJA OCCIDENTALIS 'SMARAGO' EMERALD GREEN ARBORVITAE		5' HT	AS SHOWN
<b>SHRUBS</b>					
(Symbol)	17	CORNUS STREPTA RED TIGER DOGWOOD		30' HT	5' 0" OC
(Symbol)	41	R. TX. CORNUTA X RIBES OXYMUM DANCE BUREAU HEDDLY		30' HT	5' 0" OC
(Symbol)	20	JUNIPERUS X PFITZERIANA GOLD COAST GOLD COAST PFITZER JUNIPER		24' HT	4' 0" OC
<b>GROUND COVERS</b>					
(Symbol)	56	BUCHNANUS FORTUNE 'COLORATUS' PINKIE LILY WALLS GIBBERELLA		1' GAL	2' 0" OC
(Symbol)	415	Hemerocallis x Stella de Oro STELLA DE ORO DAYLILY		1' GAL	1' 0" OC
(Symbol)	828 SF	D. COGNATA G. GRASS			

NUMBER INDICATED ON HATCH THROUGHOUT THE DRAWING REFLECTS THE NUMBER OF PLANTS IN THAT PARTICULAR AREA.

**LEGEND**



**LANDSCAPE REQUIREMENTS PER BASIC ZONING REQUIREMENTS**

**MINIMUM LANDSCAPE STANDARDS**  
**GENERAL SITE LANDSCAPING**  
 THE 30% OF THE OPENED LANDSCAPED AREA SHALL NOT BE LESS THAN ONE SQUARE FOOT OF GENERAL LANDSCAPED AREA FOR EACH 100 SQUARE FEET OF GROSS FLOOR AREA OF NEW PRINCIPAL BUILDING SPACE.  
 REQUIRED: 62 SF @ 100/100;  
 PROPOSED: 70/100.

**MINIMUM TREE COVERAGE**  
 ONE CONCRETE SIGN IN A DRAINAGE OF 1 TREE PER 1000 SF OF GROSS FLOOR AREA.  
 REQUIRED: 7 TREES @ 100/100;  
 PROPOSED: 9 TREES.

**BUFFERS**  
**STREETSCAPE BUFFER**  
 30' MIN. 3" D. 1 DECIDUOUS TREE/EVERGREEN TREE AND 5 SHRUBS PER 50' OF STREET FRONTAGE.  
 SOUTH - GHENT RD. 40' LF  
 REQUIRED: 5 TREES, 10 SHRUBS  
 PROPOSED: 5 TREES, 10 SHRUBS

**EAST - HWY 127 400 LF**  
 REQUIRED: 8 TREES, 10 SHRUBS  
 PROPOSED: 8 TREES, 10 SHRUBS

**LANDSCAPING FOR VEHICULAR USE AREAS**  
**INTERIOR LANDSCAPING**  
 TOTAL SQUARE FOOTAGE OF INTERIOR LANDSCAPING FOR LOTS WITH 20 OR MORE SPACES VIA LANDSCAPING NEEDS TO BE 10% OF THE GROSS VIA (INC. LOADING DECKS AND PARKING AS FS).  
 PARKING COUNT: 40 STAGES  
 TOTAL SF: 10' x 10' x 40 = 4000 SF (MIN. 4000 SF)  
 PROPOSED: 5400 SF @ 100/100 + 10%  
 PROPOSED: 5400 SF

**LANDSCAPING BUFFER**  
 10' OR CIRCLES FULL PER 1000 SF OF PARKING AREA  
 TOTAL PARKING AREA: 5400 SF  
 REQUIRED: 54 TREES @ 100/100 = 5400 SF  
 PROPOSED: 54 TREES

**SCREENING OF SERVICE STRUCTURES**  
 SCREENING OF SERVICE STRUCTURES SHALL BE PLANTINGS 7 FEET HIGHER THAN STRUCTURE WITH 75% OPACITY WITHIN 2 YEARS OF PLANTING  
 REQUIRED: SCREENING OF MEDICAL EQUIPMENT  
 PROPOSED: SCREENING OF MEDICAL EQUIPMENT WITH HIGH WOOD FENCE.



**VISCONSI COMPANIES, LTD**  
**C-STORE DEVELOPMENT**  
 981 GHENT ROAD  
 AKRON, OH 44333

Revisions / Submissions

ID	Description	Submissions	Date

Project Number: 766343  
 Scale: AS SHOWN  
 Drawn By: USD  
 Checked By: EAB  
 Date: 03.30.2025  
 Issue: PRELIMINARY

**PLANTING PLAN**

**L1.0**

**NOTE:**  
 THIS PLAN IS PRELIMINARY IN NATURE AND IS STRICTLY TO BE USED FOR ZONING REVIEW PURPOSES ONLY.

C:\0000\Drawings\CESOVision\981 Ghent Rd\01-Planting Plan\_CES2005-1A\_PLAN\_CD766343\_LANDSCAPE PLAN.dwg - 07/03/25 - 1:16:26 PM

**BATH TOWNSHIP  
BOARD OF  
ZONING APPEALS**

